

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

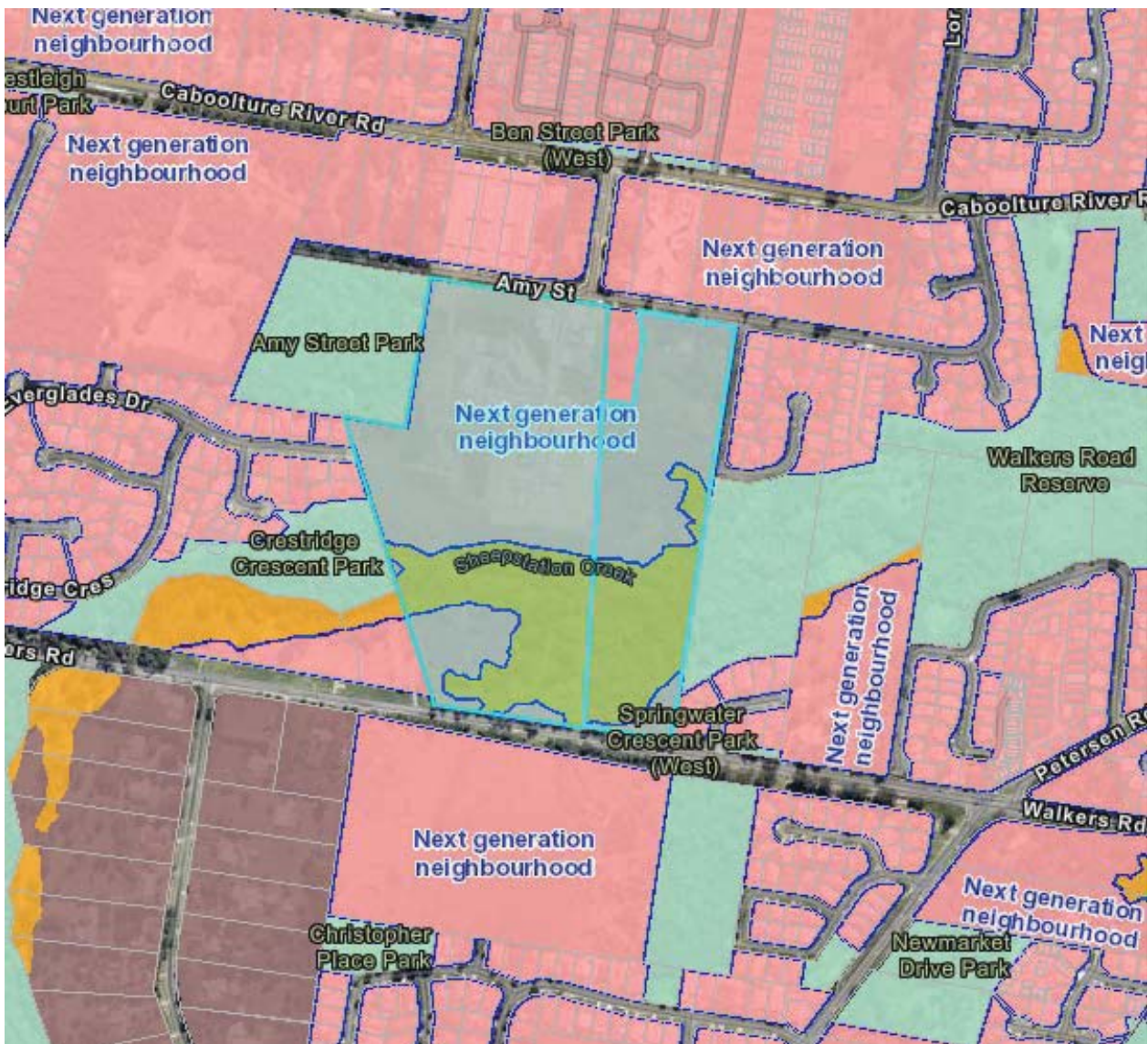
#1 Aerial





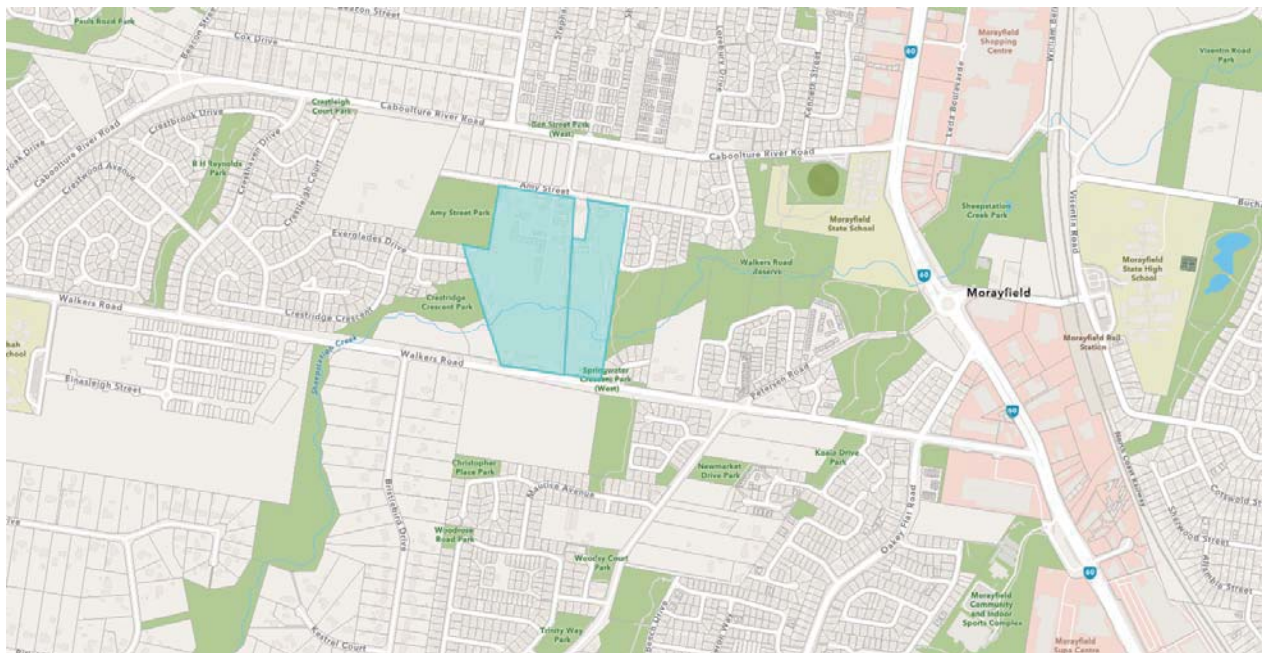
ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

#2 Zoning Map



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**#3 Locality Plan**



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

#4 Management Plans

Yield Breakdown	Overall Sites	
	Total	%
12.5m x 19m	8	25.0%
14m x 19m	2	6.3%
12.5m x 21m	16	50.0%
14m x 21m	6	18.8%
<b>Total Residential Sites</b>	<b>32</b>	<b>100.0%</b>

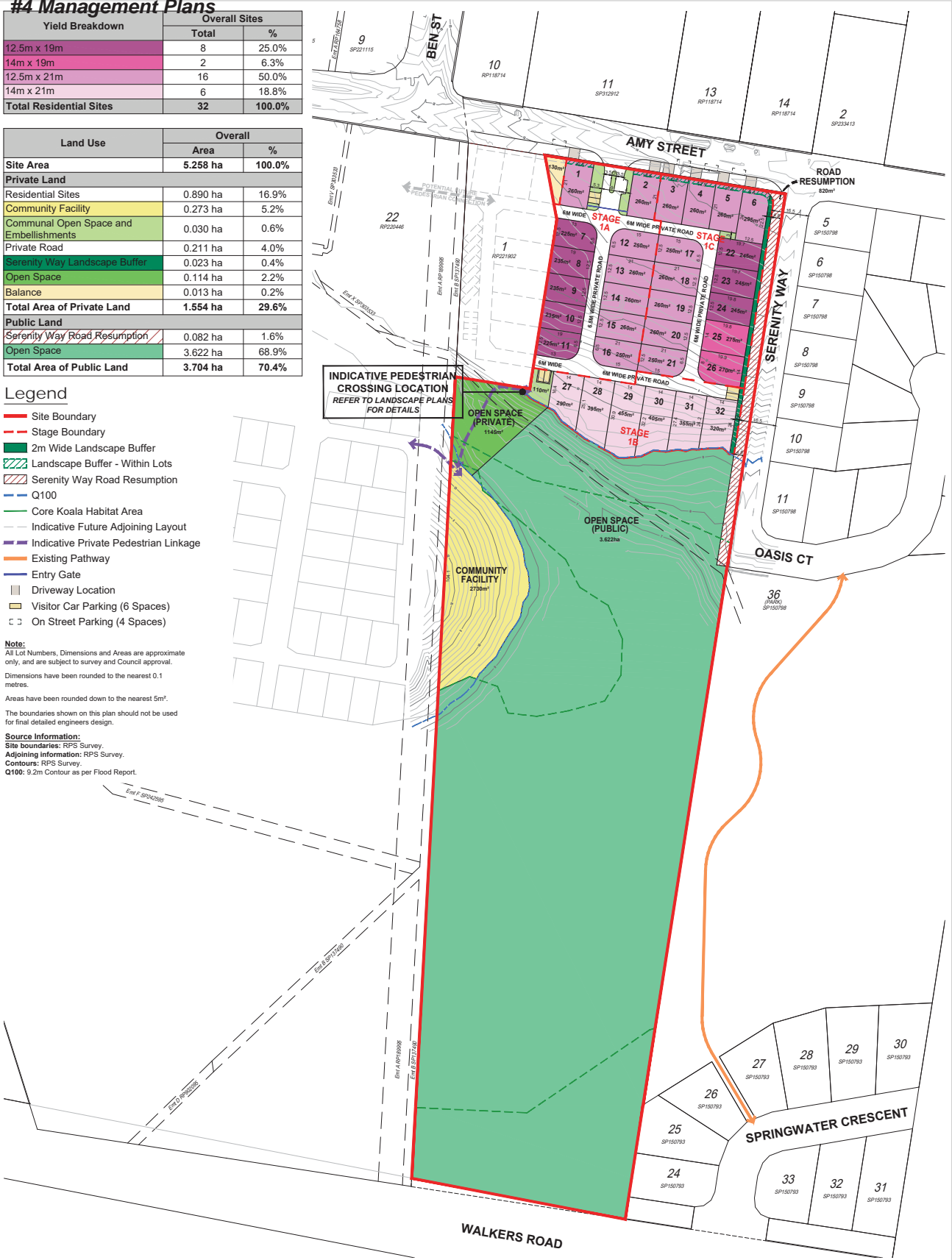
Land Use	Overall	
	Area	%
<b>Site Area</b>	<b>5.258 ha</b>	<b>100.0%</b>
<b>Private Land</b>		
Residential Sites	0.890 ha	16.9%
Community Facility	0.273 ha	5.2%
Communal Open Space and Embellishments	0.030 ha	0.6%
Private Road	0.211 ha	4.0%
Serenity Way Landscape Buffer	0.023 ha	0.4%
Open Space	0.114 ha	2.2%
Balance	0.013 ha	0.2%
<b>Total Area of Private Land</b>	<b>1.554 ha</b>	<b>29.6%</b>
<b>Public Land</b>		
Serenity Way Road Resumption	0.082 ha	1.6%
Open Space	3.622 ha	68.9%
<b>Total Area of Public Land</b>	<b>3.704 ha</b>	<b>70.4%</b>

Legend

- Site Boundary
- - - Stage Boundary
- 2m Wide Landscape Buffer
- ▨ Landscape Buffer - Within Lots
- ▨ Serenity Way Road Resumption
- Q100
- Core Koala Habitat Area
- - - Indicative Future Adjoining Layout
- Indicative Private Pedestrian Linkage
- Existing Pathway
- Entry Gate
- Driveway Location
- Visitor Car Parking (6 Spaces)
- On Street Parking (4 Spaces)

**Note:**  
All Lot Numbers, Dimensions and Areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m<sup>2</sup>. The boundaries shown on this plan should not be used for final detailed engineers design.

**Source Information:**  
Site boundaries: RPS Survey.  
Adjoining information: RPS Survey.  
Contours: RPS Survey.  
Q100: 9.2m Contour as per Flood Report.



PLAN REF: 146561 - 06  
Rev No: C  
DATE: 31 MARCH 2021  
CLIENT: SERENITAS  
DRAWN BY: MD  
CHECKED BY: MD / SP



46 AMY STREET, MORAYFIELD  
SITE PLAN

URBAN DESIGN  
Level 4 HO South  
520 Wickham Street  
PO Box 1559  
Fortitude Valley QLD 4006  
T +61 7 3539 9500  
W rpsgroup.com



© COPYRIGHT PROTECTS THIS PLAN  
Unauthorized reproduction or amendment not permitted. Please contact the author.



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**GENERAL NOTES**

- ALL MATERIALS SHALL BE NEW.
- FOOTINGS TO ENGINEER DETAILS. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SLAB: TO ENGINEER DETAILS. UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TERRITE CONTROL AS PER BUILDERS SPECIFICATIONS.
- STUD FRAMING: ALL FIXINGS AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS: AS PER BUILDERS SPECIFICATIONS.
- ROOFING: COLORBOND METAL SHEET ROOFING OR CONCRETE ROOF TILES OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- PLUMBER AND DRAINER: TO LOCAL AUTHORITY REGULATIONS.
- ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS.
- ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

**BUSHFIRE REQUIREMENTS - BAL12.5**

DESIGN IN ACCORDANCE WITH AS 3959-2018 REFER SECTION 3 & 5 FOR DETAILED REQUIREMENTS

**WATER & GAS SUPPLY**

(i) ALL EXPOSED WATER AND GAS SUPPLY LINES TO BE METAL.

**OPENINGS**

(i) DOOR/WINDOWS TO BE SCREENED. MAX APERTURE SIZE 2mm

(ii) VENTS/WEEPHOLES TO BE MESH COVERED TO MEET BAL REQUIREMENTS. MAX APERTURE 2mm

(iii) DOOR/WINDOW FRAMES TO BE MADE OF FIRE-RESISTANT TIMBER

(iv) GARAGE DOOR TO BE FITTED WITH NON-COMBUSTIBLE WEATHERSTRIP WITH MAX 3mm GAPS

(v) ALL GLAZING TO COMPLY WITH REQUIREMENTS

**ROOFING**

(i) SKYLIGHTS TO BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(ii) ANY ATTACHED ITEM ON ROOF (ie ANTENNA) ARE TO BE ADEQUATELY SEALED TO THE ROOF TO PREVENT GAPS >3mm AND BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(iii) VENTILATION OPENINGS SHALL BE FITTED WITH EMBER GUARDS BE MADE FROM A NON-COMBUSTIBLE MATERIAL AND HAVE A MAX APERTURE SIZE OF 2mm

(iv) SARKING/ANTICON MUST HAVE A FLAME-INDEX GREATER THAN 5.

(v) SARKING TO COVER ENTIRE ROOF AREA TO EDGE OF FASCIA.

**NOTES:**

- YARD PIT LOCATION TO BE DETERMINED ONSITE (SHOWN APPROX ON PLANS).
- ROOFWATER DISCHARGE TO: Kerb & Channel
- Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties
- Stormwater system to comply with AS3500 Part 3

WIND CATEGORY - N2

**SITE PLAN**  
1 : 100

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBP - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- CHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBB - RENDERED BLUEBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINE
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

**PROPERTY DESCRIPTION**

LOT 22 SP 220446  
LOCAL COUNCIL - MORETON BAY REGIONAL COUNCIL  
AREA :

#	DATE	DETAILS	BY
A	12.02.19	Changes	MK
B	18.02.19	Utility Drawers	MK
C	11.03.19	Changes	PW
D	11.10.19	Changes	MK
E	27.03.20	STAGE 2	MK
F	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTION

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 1030000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**SITE PLAN**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
 affinity

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

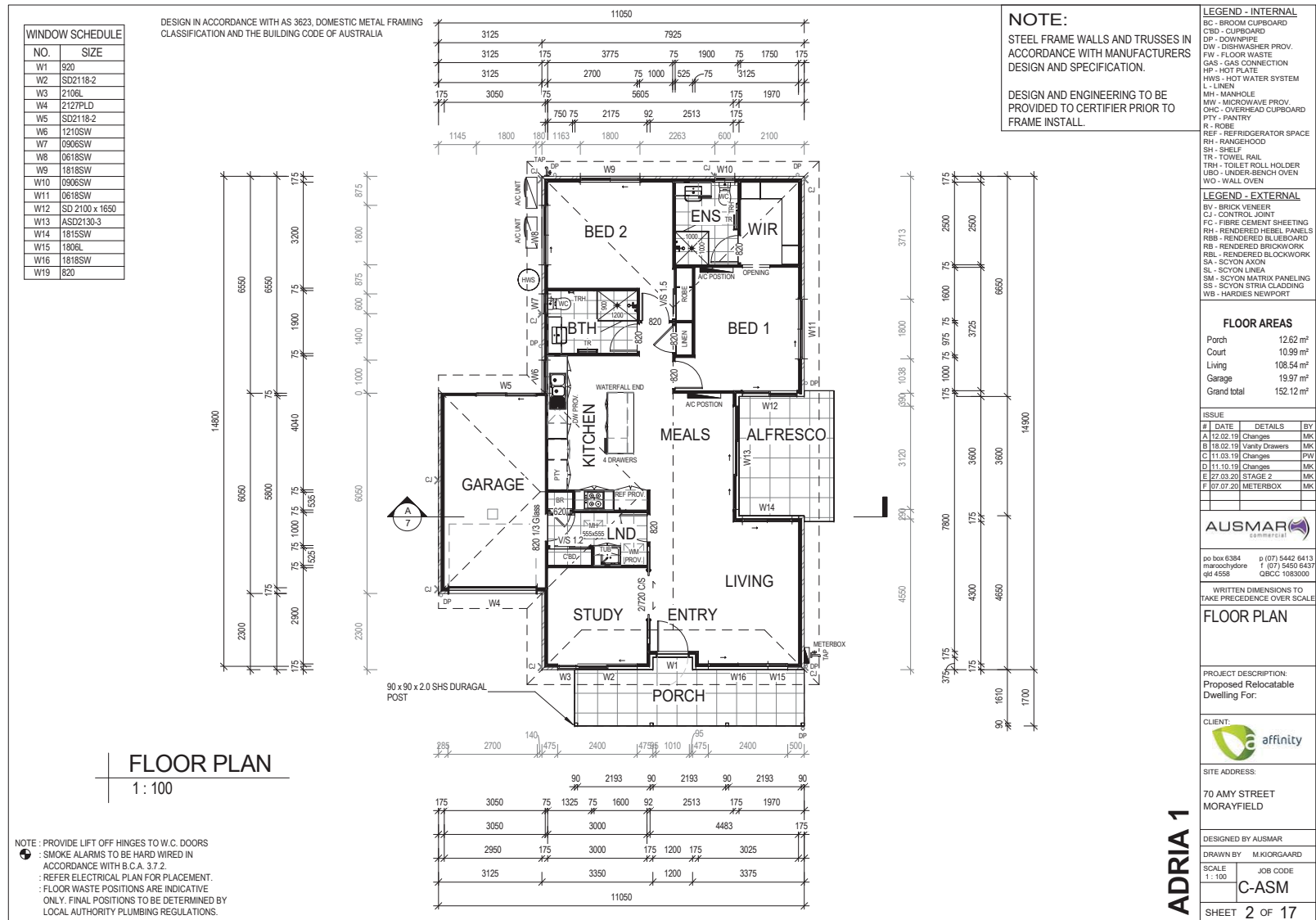
DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

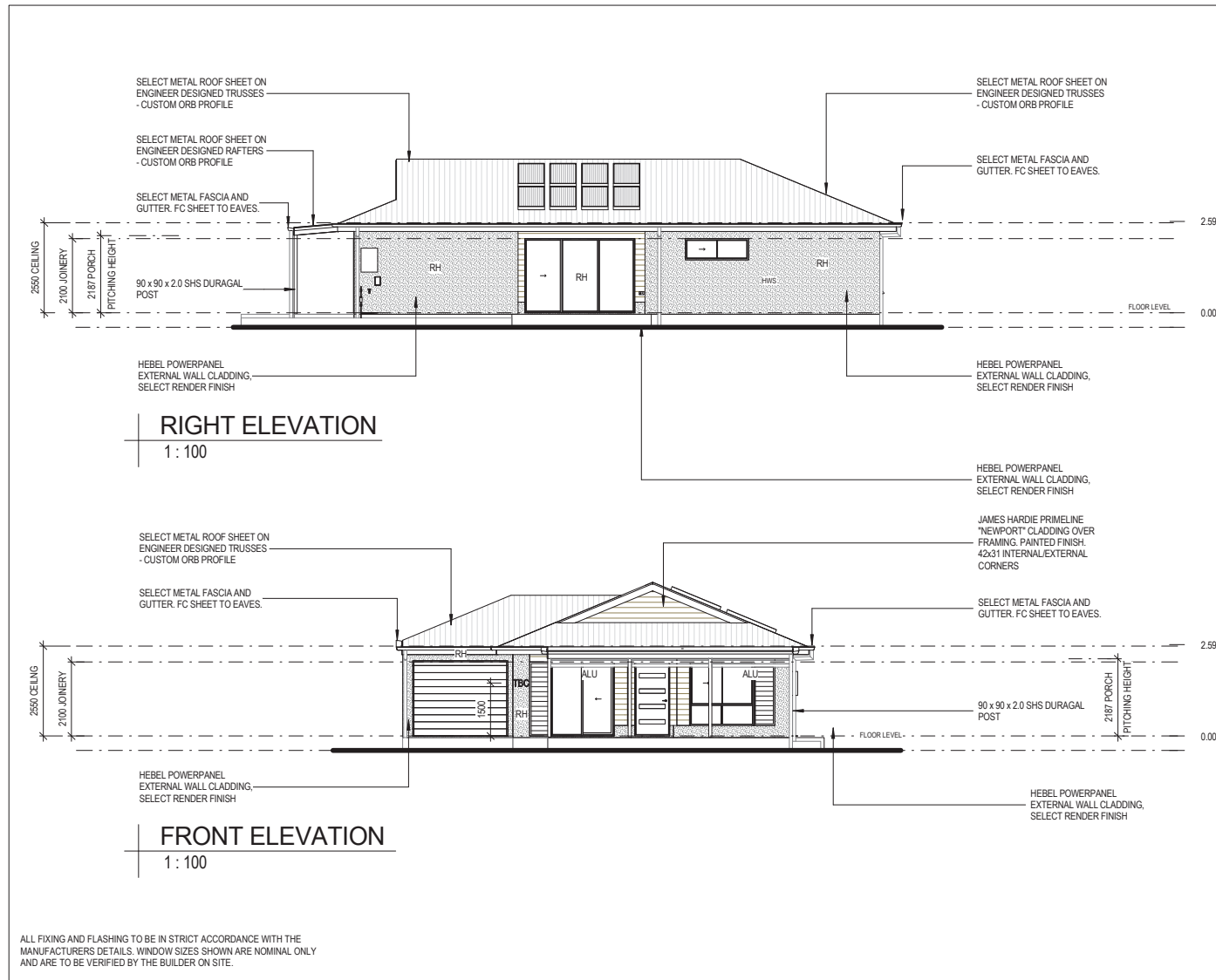
SHEET 1 OF 17

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)





ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOWEL ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLADDING
  - WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	12.02.19	Changes	MK
B	18.02.19	Vanity Drawers	MK
C	11.03.19	Changes	PW
D	11.10.19	Changes	MK
E	27.03.20	STAGE 2	MK
F	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTION

po box 6384 p (07) 5442 6413  
maroochydoe t (07) 5450 6437  
684 6558 QBCG 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
**affinity**

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

**ADRIA 1**

SHEET 3 OF 17

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



LEFT ELEVATION  
1 : 100



REAR ELEVATION  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON ASON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA CLADDING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	12.02.19	Changes	MK
B	18.02.19	Window Drawers	MK
C	11.03.19	Changes	PW
D	11.10.19	Changes	MK
E	27.03.20	STAGE 2	MK
F	07.07.20	METERBOX	MK

**AUSMAR**  
ARCHITECTURE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
484 4558 QBC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1:100  
JOB CODE C-ASM

SHEET 4 OF 17

ADRIA 1



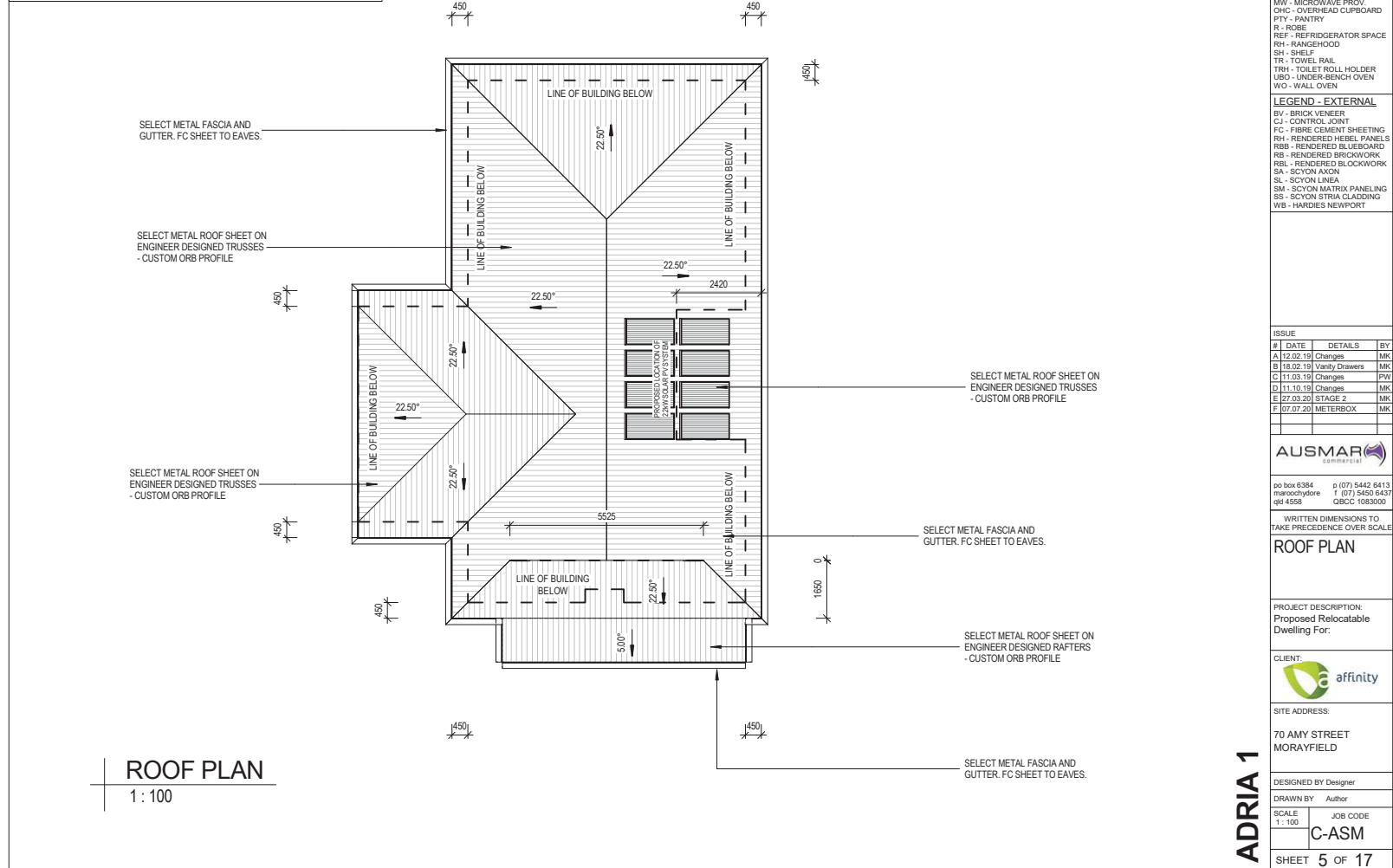
ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**ROOF PLAN**

(i) EXHAUST FROM BATHROOMS, KITCHENS, SANITARY COMPARTMENTS AND LAUNDRIES MUST BE MECHANICALLY DISCHARGED DIRECTLY TO OUTDOOR AIR DUCTED OR SIMILAR, AND COMPLY WITH NCC PART 3.8

(ii) SOLAR PV SYSTEM TO BE LOCATED ONSITE (DRAWN LOCATION IS APPROX ONLY), SKYLIGHTS TO BE FLASHED TO RIDGE.

**IF SOLAR UPGRADE OPTION SELECTED. PROPOSED LOCATION TBC WHEN SITED.**



- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DF - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWSS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBB - RENDERED BLUEBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	12.02.19	Changes	MK
B	18.02.19	Variant Drawings	MK
C	11.03.19	Changes	PW
D	11.10.19	Changes	MK
E	27.03.20	STAGE 2	MK
F	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTION

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qst 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ROOF PLAN**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY Designer

DRAWN BY Author

SCALE 1:100 JOB CODE C-ASM SHEET 5 OF 17

**ADRIA 1**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**GENERAL NOTES**

- ALL MATERIALS SHALL BE NEW.
- FOOTINGS TO ENGINEER DETAILS. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SLAB: TO ENGINEER DETAILS. UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TERRITE CONTROL AS PER BUILDERS SPECIFICATIONS.
- STUD FRAMING: ALL FIXINGS AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS: AS PER BUILDERS SPECIFICATIONS.
- ROOFING: COLORBOND METAL SHEET ROOFING OR CONCRETE ROOF TILES OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- PLUMBER AND DRAINER: TO LOCAL AUTHORITY REGULATIONS.
- ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS.
- ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

**BUSHFIRE REQUIREMENTS - BAL12.5**

DESIGN IN ACCORDANCE WITH AS 3959-2018 REFER SECTION 3 & 5 FOR DETAILED REQUIREMENTS

**WATER & GAS SUPPLY**

(i) ALL EXPOSED WATER AND GAS SUPPLY LINES TO BE METAL.

**OPENINGS**

(i) DOOR/WINDOWS TO BE SCREENED. MAX APERTURE SIZE 2mm

(ii) VENTS/WEEPHOLES TO BE MESH COVERED TO MEET BAL REQUIREMENTS. MAX APERTURE 2mm

(iii) DOOR/WINDOW FRAMES TO BE MADE OF FIRE-RESISTANT TIMBER

(iv) GARAGE DOOR TO BE FITTED WITH NON-COMBUSTIBLE WEATHERSTRIP WITH MAX 3mm GAPS

(v) ALL GLAZING TO COMPLY WITH REQUIREMENTS

**ROOFING**

(i) SKYLIGHTS TO BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(ii) ANY ATTACHED ITEM ON ROOF (ie ANTENNA) ARE TO BE ADEQUATELY SEALED TO THE ROOF TO PREVENT GAPS >3mm AND BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(iii) VENTILATION OPENINGS SHALL BE FITTED WITH EMBER-GUARDS BE MADE FROM A NON-COMBUSTIBLE MATERIAL AND HAVE A MAX APERTURE SIZE OF 2mm

(iv) SARKING/ANTICON MUST HAVE A FLAME-INDEX GREATER THAN 5.

(v) SARKING TO COVER ENTIRE ROOF AREA TO EDGE OF FASCIA.

**NOTES:**

- YARD PIT LOCATION TO BE DETERMINED ONSITE (SHOWN APPROX ON PLANS).
- ROOFWATER DISCHARGE TO: Kerb & Channel
- Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties
- Stormwater system to comply with AS3500 Part 3

WIND CATEGORY - N2

**SITE PLAN**  
1 : 100

**LEGEND - INTERNAL**

BC - BROOM CUPBOARD  
CBP - CUPBOARD  
DP - DOWNPIPE  
DW - DISHWASHER PROV.  
FW - FLOOR WASTE  
GAS - GAS CONNECTION  
HP - HOT PLATE  
HWS - HOT WATER SYSTEM  
L - LINEN  
MH - MANHOLE  
MW - MICROWAVE PROV.  
CHC - OVERHEAD CUPBOARD  
PTY - PANTRY  
R - ROBE  
REF - REFRIGERATOR SPACE  
RH - RANGEHOOD  
SH - SHELF  
TR - TOWEL RAIL  
TRH - TOILET ROLL HOLDER  
UBO - UNDER-BENCH OVEN  
WO - WALL OVEN

**LEGEND - EXTERNAL**

BV - BRICK VENEER  
CJ - CONTROL JOINT  
FC - FIBRE CEMENT SHEETING  
RH - RENDERED HEBEL PANELS  
RBB - RENDERED BLUEBOARD  
RB - RENDERED BRICKWORK  
RBL - RENDERED BLOCKWORK  
SA - SCYON AXON  
SL - SCYON LINE  
SM - SCYON MATRIX PANELING  
SS - SCYON STRIA GLAZING  
WB - HARDIES NEWPORT

**PROPERTY DESCRIPTION**  
LOT 22 SP 220446  
LOCAL COUNCIL - MORETON BAY REGIONAL COUNCIL  
AREA :

#	DATE	DETAILS	BY
A	12.02.19	Changes	MK
B	18.02.19	Utility Drawers	MK
C	11.03.19	Changes	PW
D	11.10.19	Changes	MK
E	27.03.20	STAGE 2	MK
F	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**SITE PLAN**

**PROJECT DESCRIPTION:**  
Proposed Relocatable Dwelling For:

**CLIENT:**  
affinity

**SITE ADDRESS:**  
70 AMY STREET  
MORAYFIELD

**DESIGNED BY AUSMAR**

**DRAWN BY:** AUSMAR

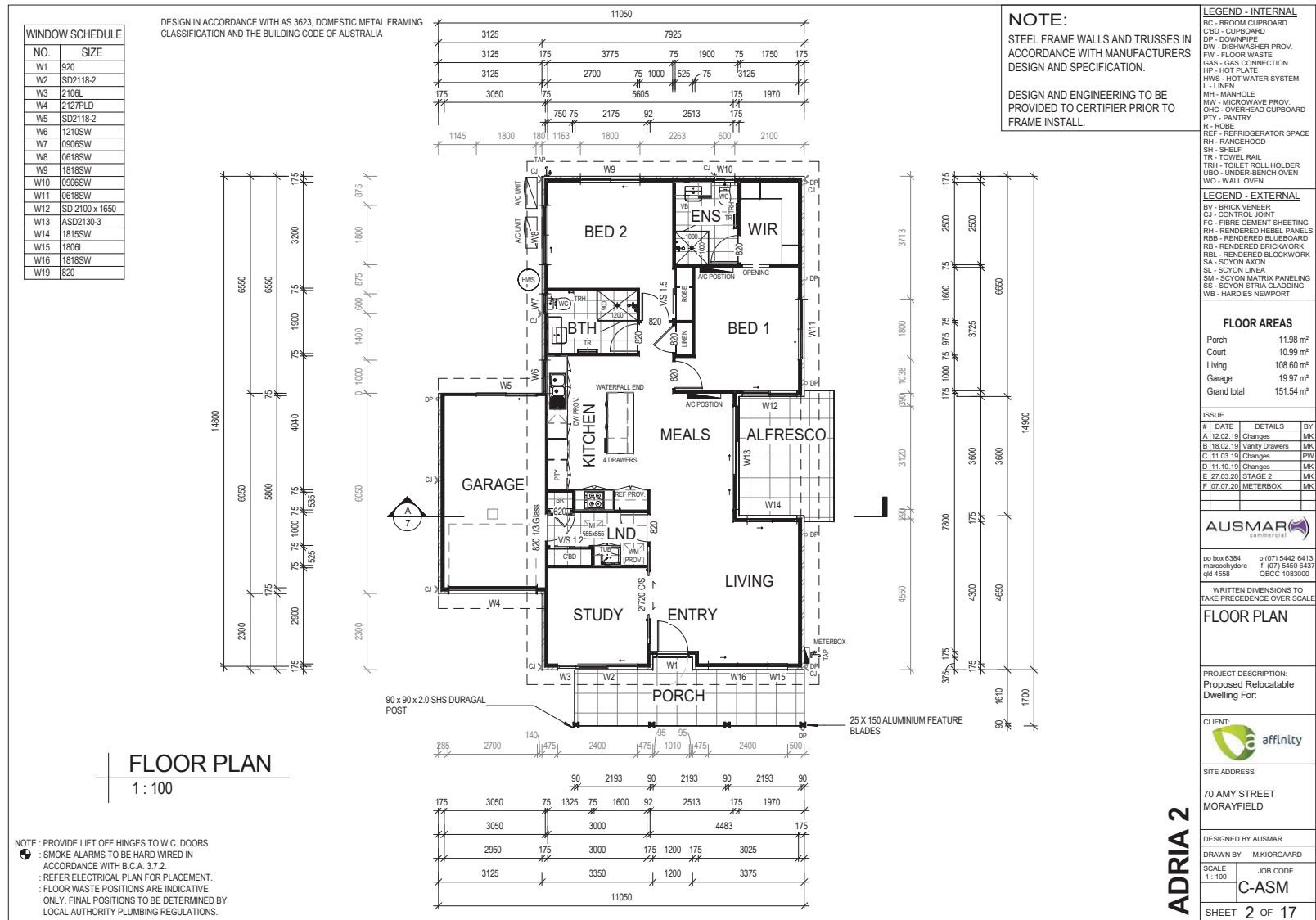
SCALE 1 : 100	JOB CODE C-ASM
------------------	-------------------

**SHEET 1 OF 17**

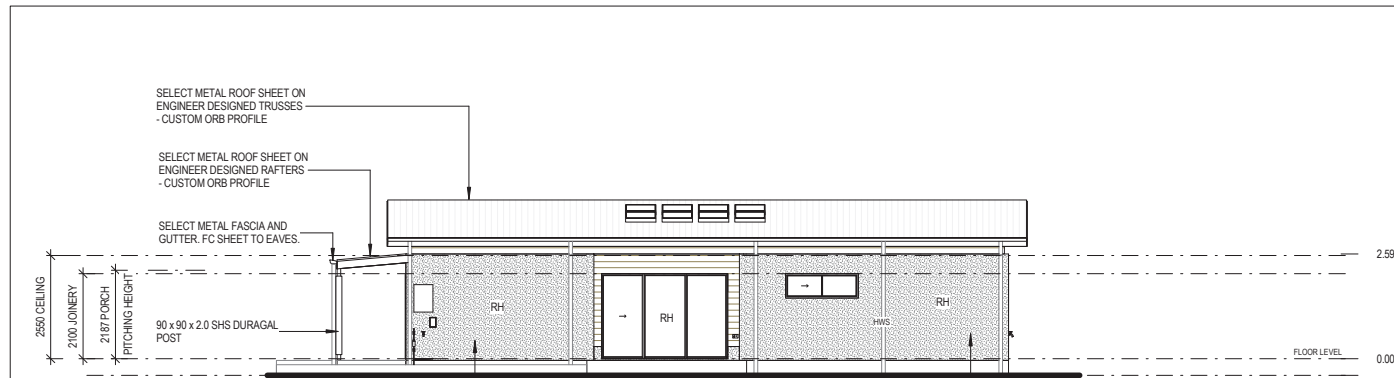
ADRIA 2



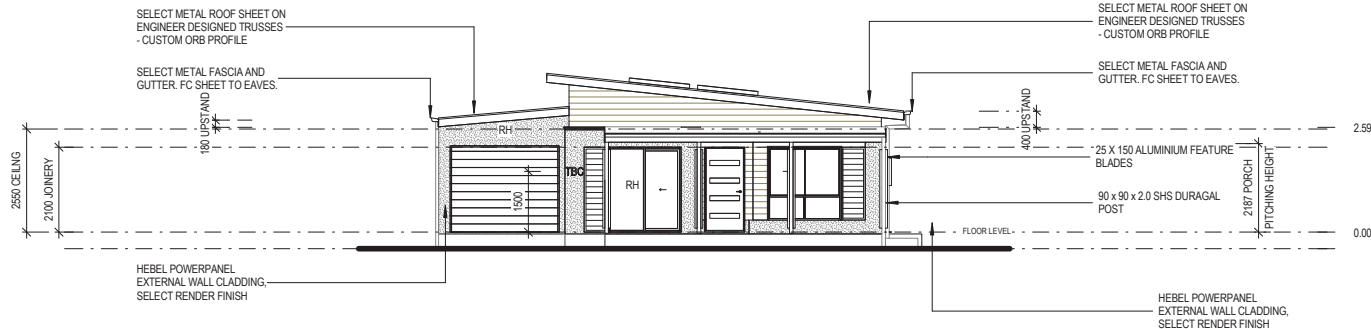
ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



RIGHT ELEVATION  
1 : 100



FRONT ELEVATION  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AJOX
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLADDING
  - WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	12.02.19	Changes	MK
B	18.02.19	Vanity Drawers	MK
C	11.03.19	Changes	PW
D	11.10.19	Changes	MK
E	27.03.20	STAGE 2	MK
F	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qst 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

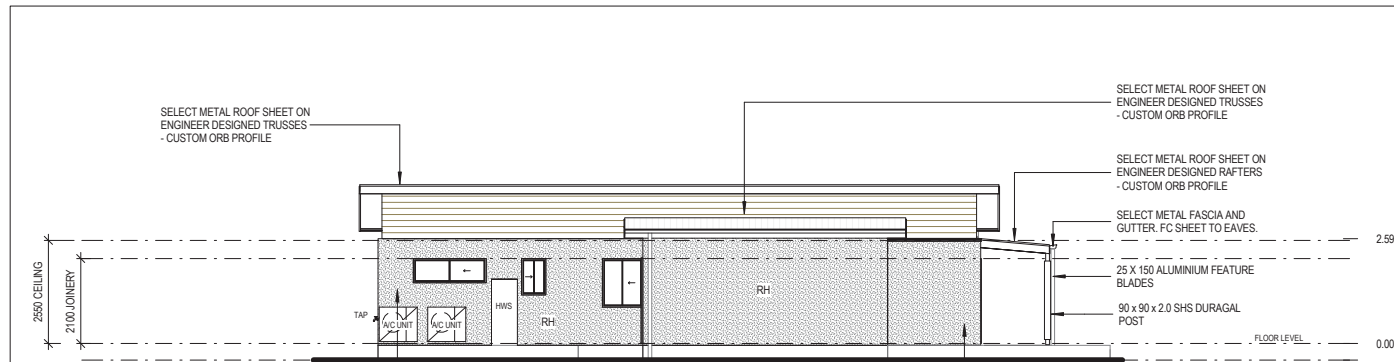
DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

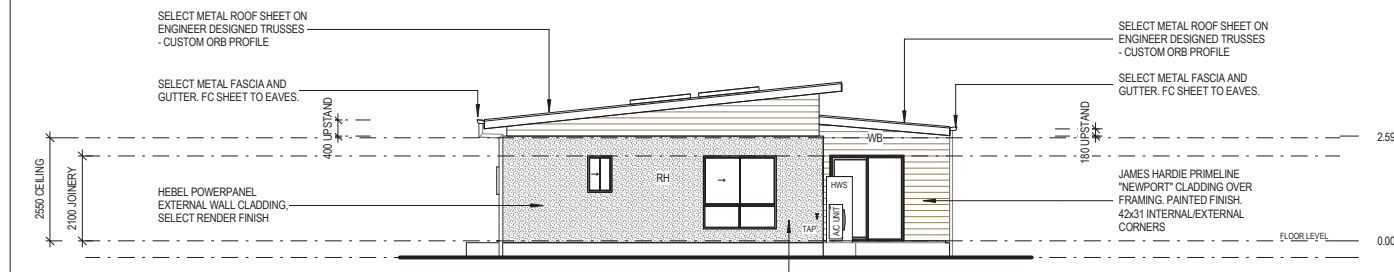
SHEET 3 OF 17

ADRIA 2

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**LEFT ELEVATION**  
1 : 100



**REAR ELEVATION**  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOWEL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON ACON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA CLADDING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	12.02.19	Changes	MK
B	18.02.19	Vanity Drawers	MK
C	11.03.19	Changes	PW
D	11.10.19	Changes	MK
E	27.03.20	STAGE 2	MK
F	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
684 4558 QBCC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
**affinity**

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

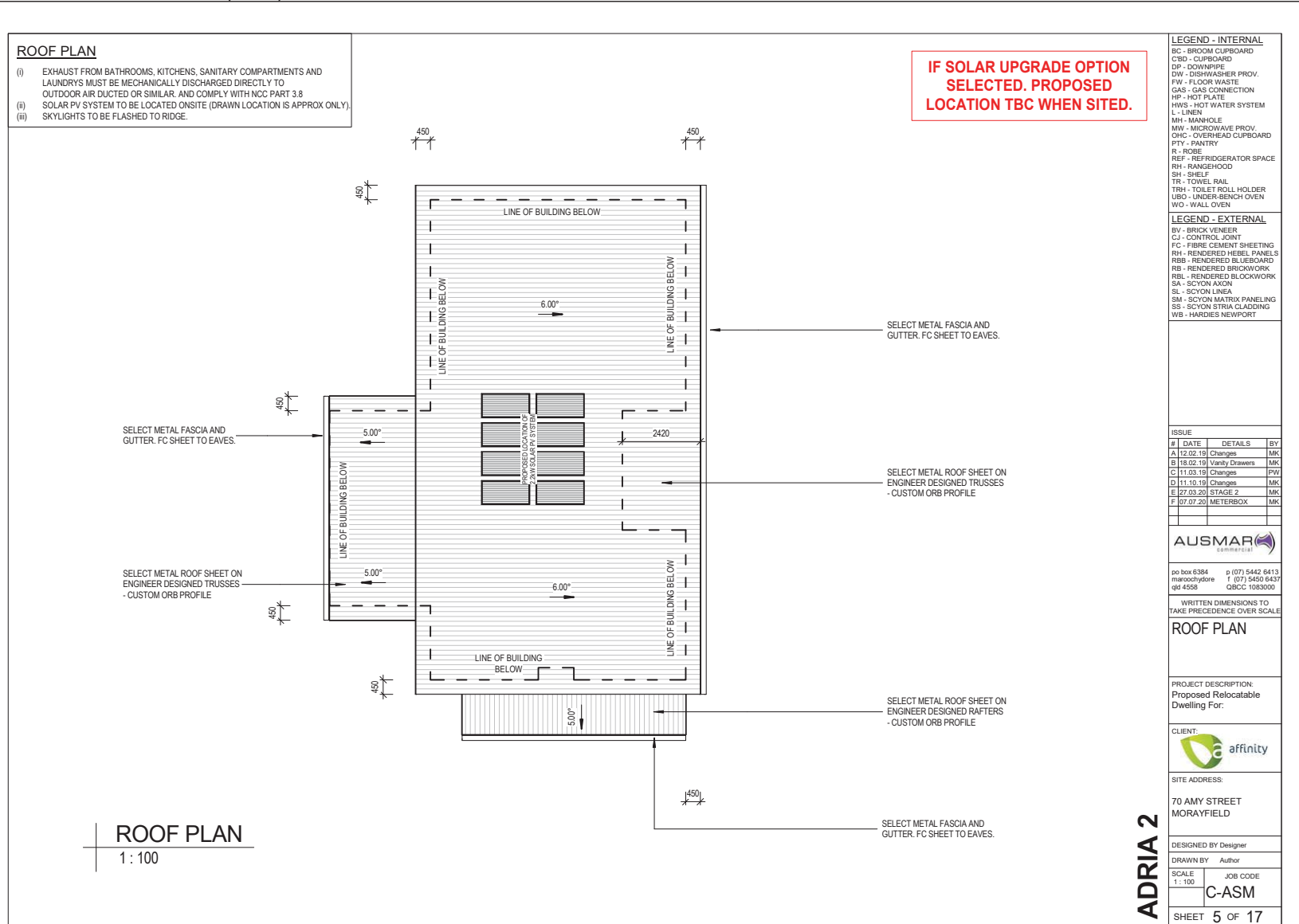
DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1:100  
JOB CODE  
**C-ASM**

SHEET 4 OF 17

**ADRIA 2**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**ROOF PLAN**

(i) EXHAUST FROM BATHROOMS, KITCHENS, SANITARY COMPARTMENTS AND LAUNDRIES MUST BE MECHANICALLY DISCHARGED DIRECTLY TO OUTDOOR AIR DUCTED OR SIMILAR, AND COMPLY WITH NCC PART 3.8

(ii) SOLAR PV SYSTEM TO BE LOCATED ONSITE (DRAWN LOCATION IS APPROX ONLY), SKYLIGHTS TO BE FLASHED TO RIDGE.

**IF SOLAR UPGRADE OPTION SELECTED. PROPOSED LOCATION TBC WHEN SITED.**

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DF - DOWNWELL
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBB - RENDERED BLUEBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

ISSUE	#	DATE	DETAILS	BY
	A	12.02.19	Changes	MK
	B	18.02.19	Vanity Drawers	MK
	C	11.03.19	Changes	PW
	D	11.10.19	Changes	MK
	E	27.03.20	STAGE 2	MK
	F	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTION

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qst 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ROOF PLAN**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
 affinity

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY Designer

DRAWN BY Author

SCALE 1:100 JOB CODE C-ASM

SHEET 5 OF 17

**ADRIA 2**

**ROOF PLAN**  
1:100



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**GENERAL NOTES**

- ALL MATERIALS SHALL BE NEW.
- FOOTINGS TO ENGINEER DETAILS. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SLAB: TO ENGINEER DETAILS UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TERRAZO CONTROL AS PER BUILDERS SPECIFICATIONS. STUD FRAMING: ALL FIXINGS AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS: AS PER BUILDERS SPECIFICATIONS. ROOFING: COLORBOND METAL SHEET ROOFING OR CONCRETE ROOF TILES OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. PLUMBER AND DRAINER: TO LOCAL AUTHORITY REGULATIONS. ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS. ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

**BUSHFIRE REQUIREMENTS - BAL12.5**

DESIGN IN ACCORDANCE WITH AS 3959-2018 REFER SECTION 3 & 5 FOR DETAILED REQUIREMENTS

**WATER & GAS SUPPLY**

(i) ALL EXPOSED WATER AND GAS SUPPLY LINES TO BE METAL.

**OPENINGS**

(i) DOOR/WINDOWS TO BE SCREENED. MAX APERTURE SIZE 2mm

(ii) VENTS/WEEPHOLES TO BE MESH COVERED TO MEET BAL REQUIREMENTS. MAX APERTURE 2mm

(iii) DOOR/WINDOW FRAMES TO BE MADE OF FIRE-RESISTANT TIMBER

(iv) GARAGE DOOR TO BE FITTED WITH NON-COMBUSTIBLE WEATHERSTRIP WITH MAX 3mm GAPS

(v) ALL GLAZING TO COMPLY WITH REQUIREMENTS

**ROOFING**

(i) SKYLIGHTS TO BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(ii) ANY ATTACHED ITEM ON ROOF (ie ANTENNA) ARE TO BE ADEQUATELY SEALED TO THE ROOF TO PREVENT GAPS >3mm AND BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(iii) VENTILATION OPENINGS SHALL BE FITTED WITH EMBER GUARDS BE MADE FROM A NON-COMBUSTIBLE MATERIAL AND HAVE A MAX APERTURE SIZE OF 2mm

(iv) SARKING/ANTICON MUST HAVE A FLAME-INDEX GREATER THAN 5.

(v) SARKING TO COVER ENTIRE ROOF AREA TO EDGE OF FASCIA.

**NOTES:**

- YARD PIT LOCATION TO BE DETERMINED ONSITE (SHOWN APPROX ON PLANS).
- ROOFWATER DISCHARGE TO: Kerb & Channel
- Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties
- Stormwater system to comply with AS3500 Part 3

WIND CATEGORY - N2

**PROPOSED RELOCATABLE DWELLING**  
PAD LEVEL RL. -0.410 m

**TANDEM**

**CONCRETE DRIVEWAY**

**BOUNDARY - 12000**

**BOUNDARY - 19000**

**3175 WALL**  
**2725 EAVES**  
**3700 WALL**  
**2750**  
**3200 WALL**  
**900 WALL**  
**450 EAVES**  
**900 WALL**

**YARD PIT**  
**TAP**  
**DP**  
**1500 POST**  
**METER BOX**

**LEGEND - INTERNAL**

BC - BROOM CUPBOARD  
CBP - CUPBOARD  
DP - DOWNPIPE  
DW - DISHWASHER PROV.  
FW - FLOOR WASTE  
GAS - GAS CONNECTION  
HP - HOT PLATE  
HWS - HOT WATER SYSTEM  
L - LINEN  
MH - MANHOLE  
MW - MICROWAVE PROV.  
OHC - OVERHEAD CUPBOARD  
PTV - PANTRY  
R - ROBE  
REF - REFRIGERATOR SPACE  
RH - RANGEHOOD  
SH - SHELF  
TR - TOWEL RAIL  
TRH - TOILET ROLL HOLDER  
UBO - UNDER-BENCH OVEN  
WO - WALL OVEN

**LEGEND - EXTERNAL**

BV - BRICK VENEER  
CJ - CONTROL JOINT  
FC - FIBRE CEMENT SHEETING  
RH - RENDERED HEBEL PANELS  
RHB - RENDERED BLUEBOARD  
RB - RENDERED BRICKWORK  
RBL - RENDERED BLOCKWORK  
SA - SCYON AXON  
SL - SCYON LINE  
SM - SCYON MATRIX PANELING  
SS - SCYON STRIA GLAZING  
WB - HARDIES NEWPORT

**PROPERTY DESCRIPTION**  
LOT 22 SP 220446  
LOCAL COUNCIL - MORETON BAY REGIONAL COUNCIL  
AREA :

#	DATE	DETAILS	BY
A	14.07.20	WD ISSUE	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**SITE PLAN**

**PROJECT DESCRIPTION:**  
Proposed Relocatable Dwelling For:

**CLIENT:**  
affinity

**SITE ADDRESS:**  
70 AMY STREET  
MORAYFIELD

**DESIGNED BY:** AUSMAR  
**DRAWN BY:** AUSMAR

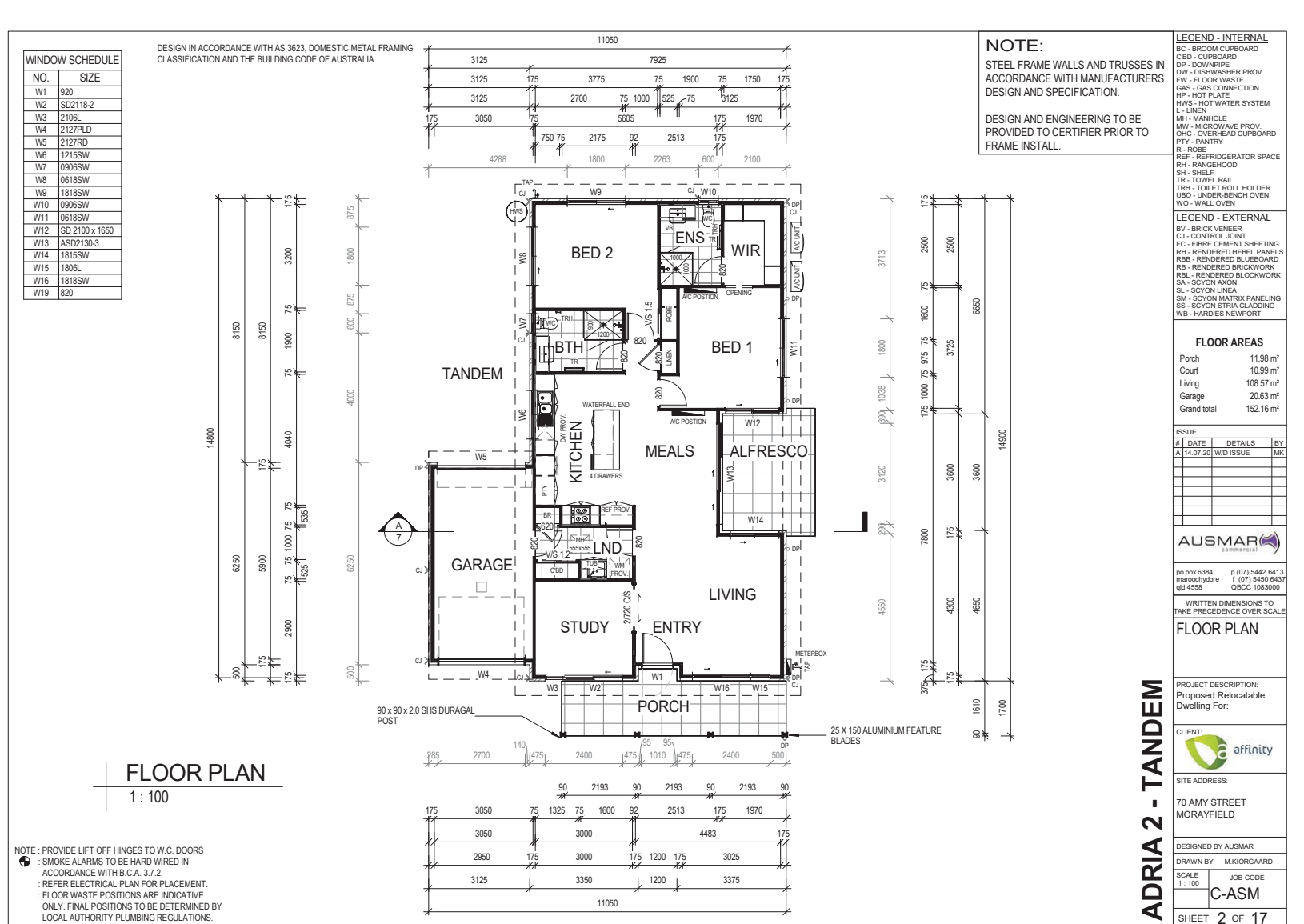
**SCALE:** 1:100  
**JOB CODE:** C-ASM

**SHEET 1 OF 17**

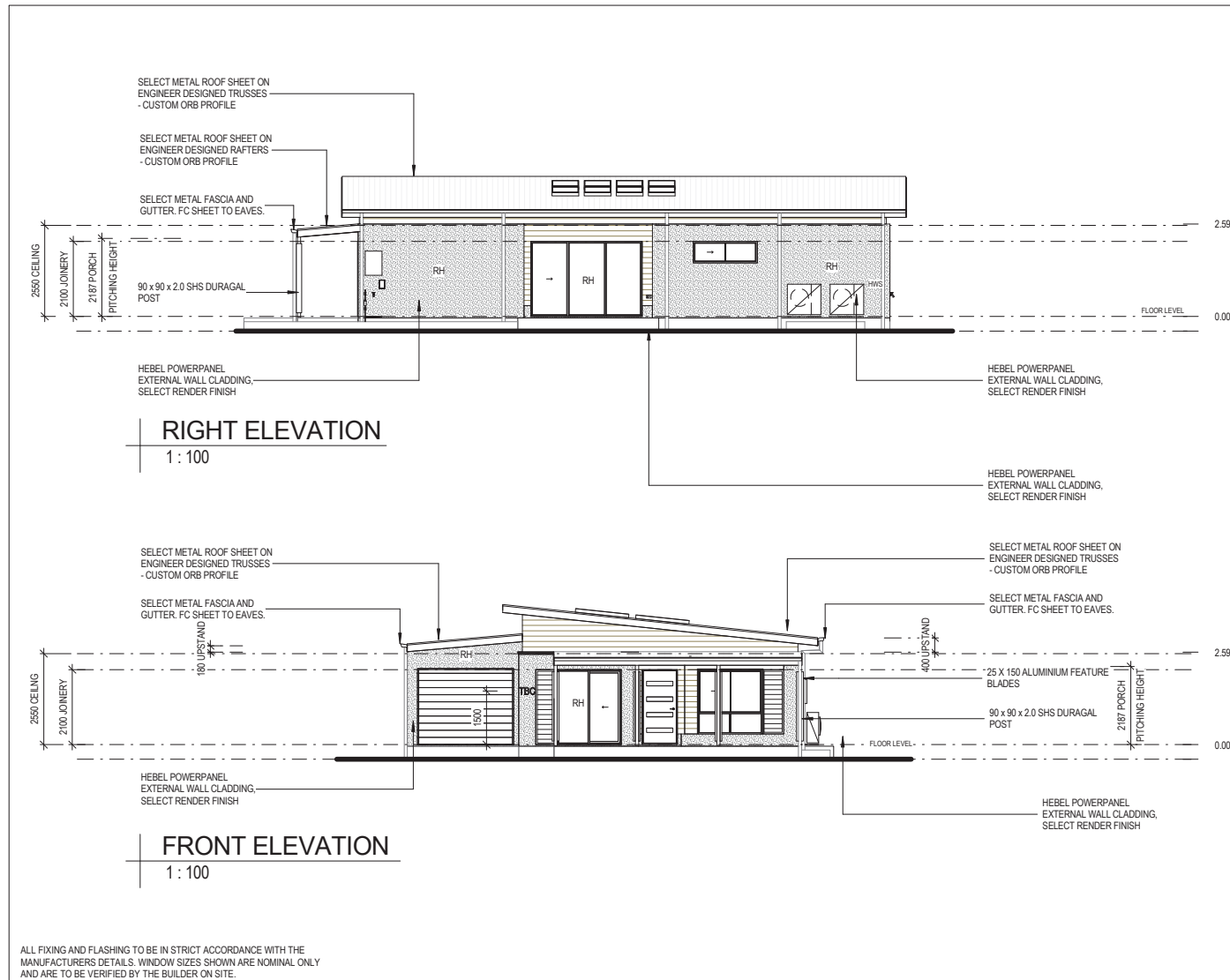
**SITE PLAN**  
1 : 100

ADRIA 2 - TANDEM

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RSB - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLADDING
  - WB - HARDIES NEWPORT

ISSUE			
#	DATE	DETAILS	BY
A	14.07.20	WD ISSUE	MK

**AUSMAR**  
ARCHITECTURE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qst 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
**affinity**

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

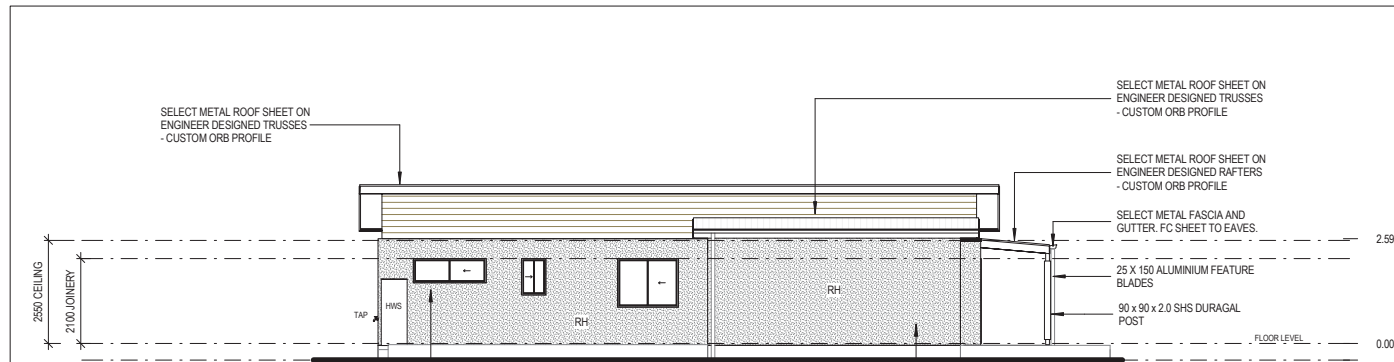
DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

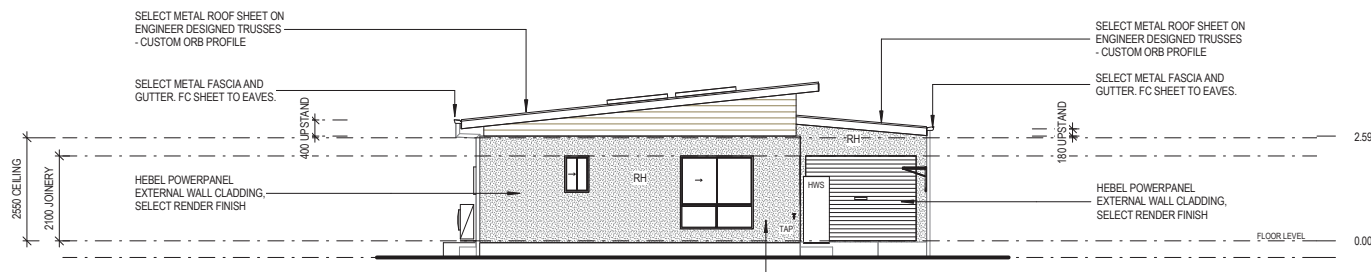
SHEET 3 OF 17

**ADRIA 2 - TANDEM**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



LEFT ELEVATION  
1 : 100



REAR ELEVATION  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEROOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOWEL ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON ACON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA CLADDING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	14.07.20	WD ISSUE	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
641 6558 QBC12 1003000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
 affinity

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 4 OF 17

**ADRIA 2 - TANDEM**





ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**GENERAL NOTES**

- ALL MATERIALS SHALL BE NEW.
- FOOTINGS TO ENGINEER DETAILS FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SLAB TO ENGINEER DETAILS UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TERRITE CONTROL AS PER BUILDERS SPECIFICATIONS.
- STUD FRAMING: ALL FIXINGS AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS: AS PER BUILDERS SPECIFICATIONS.
- ROOFING: COLORBOND METAL SHEET ROOFING OR CONCRETE ROOF TILES OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- PLUMBER AND DRAINER: TO LOCAL AUTHORITY REGULATIONS.
- ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS.
- ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

**BUSHFIRE REQUIREMENTS - BAL12.5**

DESIGN IN ACCORDANCE WITH AS 3959-2018 REFER SECTION 3 & 5 FOR DETAILED REQUIREMENTS

**WATER & GAS SUPPLY**

(i) ALL EXPOSED WATER AND GAS SUPPLY LINES TO BE METAL.

**OPENINGS**

(i) DOOR/WINDOWS TO BE SCREENED. MAX APERTURE SIZE 2mm

(ii) VENTS/WEEPHOLES TO BE MESH COVERED TO MEET BAL REQUIREMENTS. MAX APERTURE 2mm

(iii) DOOR/WINDOW FRAMES TO BE MADE OF FIRE-RESISTANT TIMBER

(iv) GARAGE DOOR TO BE FITTED WITH NON-COMBUSTIBLE WEATHERSTRIP WITH MAX 3mm GAPS

(v) ALL GLAZING TO COMPLY WITH REQUIREMENTS

**ROOFING**

(i) SKYLIGHTS TO BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(ii) ANY ATTACHED ITEM ON ROOF (ie ANTENNA) ARE TO BE ADEQUATELY SEALED TO THE ROOF TO PREVENT GAPS >3mm AND BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(iii) VENTILATION OPENINGS SHALL BE FITTED WITH EMBER-GUARDS BE MADE FROM A NON-COMBUSTIBLE MATERIAL AND HAVE A MAX APERTURE SIZE OF 2mm

(iv) SARKING/ANTICORN MUST HAVE A FLAME-INDEX GREATER THAN 5.

(v) SARKING TO COVER ENTIRE ROOF AREA TO EDGE OF FASCIA.

**NOTES:**

- YARD PIT LOCATION TO BE DETERMINED ONSITE (SHOWN APPROX ON PLANS).
- ROOFWATER DISCHARGE TO: Kerb & Channel
- Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties
- Stormwater system to comply with AS3500 Part 3

WIND CATEGORY - N2

**PROPOSED RELOCATABLE DWELLING**  
PAD LEVEL RL. -0.410 m

**SITE PLAN**  
1 : 100

**LEGEND - INTERNAL**

BC - BROOM CUPBOARD  
CBU - CUPBOARD  
DP - DOWNPIPE  
DW - DISHWASHER PROV.  
FW - FLOOR WASTE  
GAS - GAS CONNECTION  
HP - HOT PLATE  
HWS - HOT WATER SYSTEM  
L - LINEN  
MH - MANHOLE  
MW - MICROWAVE PROV.  
OHC - OVERHEAD CUPBOARD  
PTV - PANTRY  
R - ROBE  
REF - REFRIGERATOR SPACE  
RH - RANGEHOOD  
SH - SHELF  
TR - TOWEL RAIL  
TRH - TOILET ROLL HOLDER  
UBO - UNDER-BENCH OVEN  
WO - WALL OVEN

**LEGEND - EXTERNAL**

BV - BRICK VENEER  
CJ - CONTROL JOINT  
FC - FIBRE CEMENT SHEETING  
RH - RENDERED HEBEL PANELS  
RBB - RENDERED BLUEBOARD  
RB - RENDERED BRICKWORK  
RBL - RENDERED BLOCKWORK  
SA - SCYON SARKON  
SL - SCYON LINEA  
SM - SCYON MATRIX PANELING  
SS - SCYON STRIA GLAZING  
WB - HARDIES NEWPORT

**PROPERTY DESCRIPTION**  
LOT 22 SP 220446  
LOCAL COUNCIL - MORETON BAY REGIONAL COUNCIL  
AREA :

#	DATE	DETAILS	BY
A	18.02.19	Vanity Drawers	MK
B	25.03.19	Site Plan & Doors	MK
C	11.10.19	Changes	MK
D	27.03.20	STAGE 2	MK
E	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTION

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 1093000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**SITE PLAN**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
 affinity

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

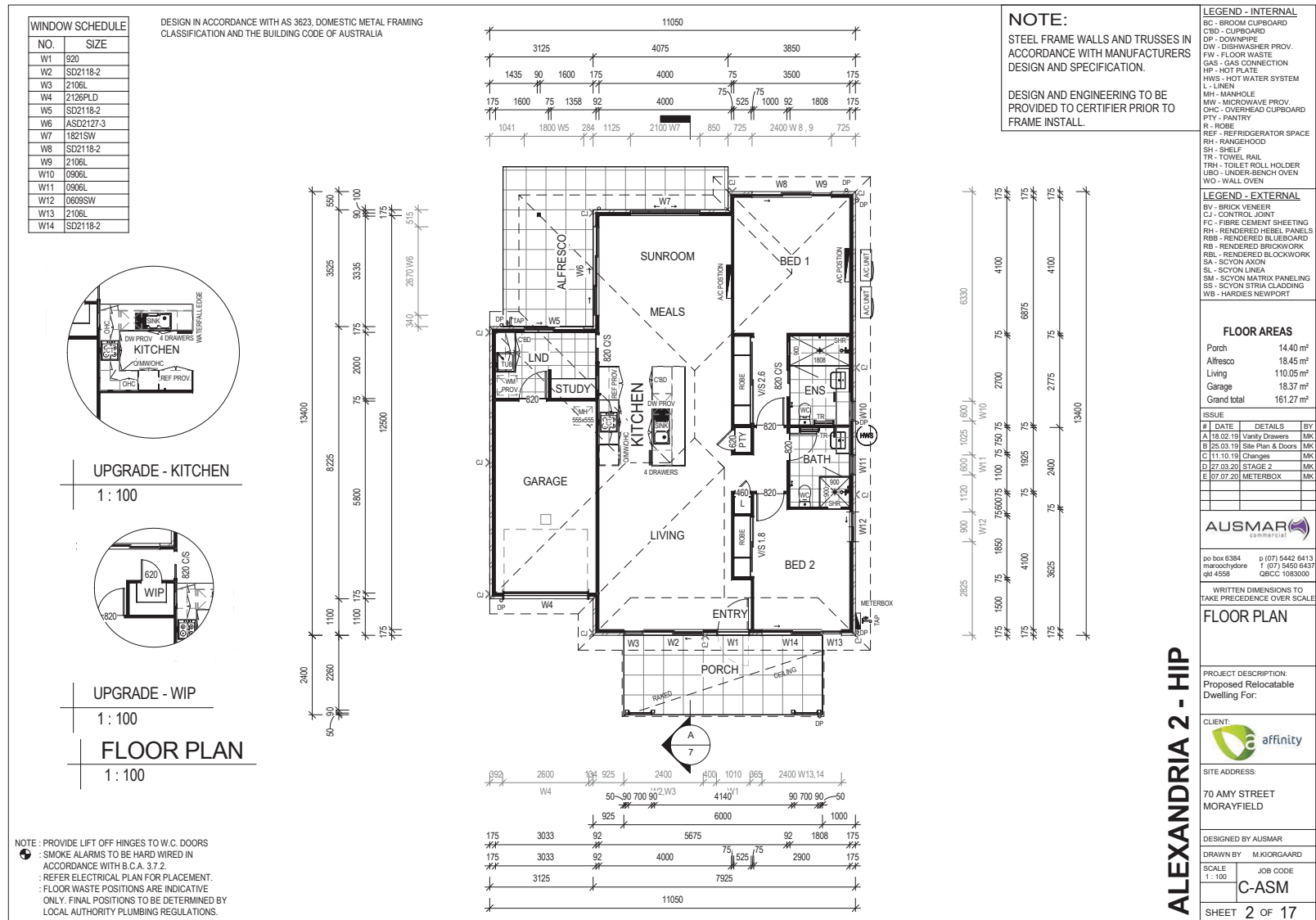
DRAWN BY AUSMAR

SCALE 1 : 100	JOB CODE C-ASM
------------------	-------------------

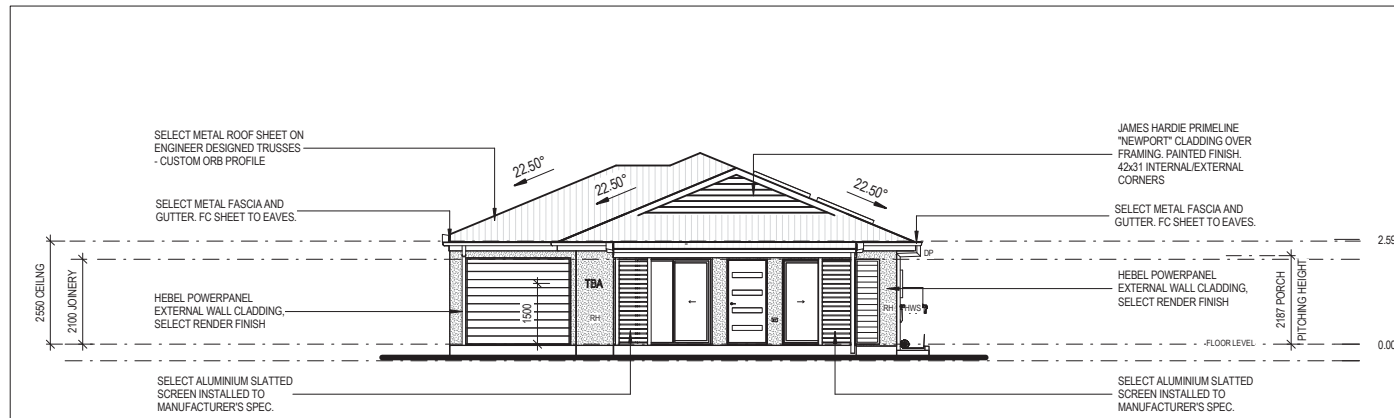
SHEET 1 OF 17

ALEXANDRIA 2 - HIP

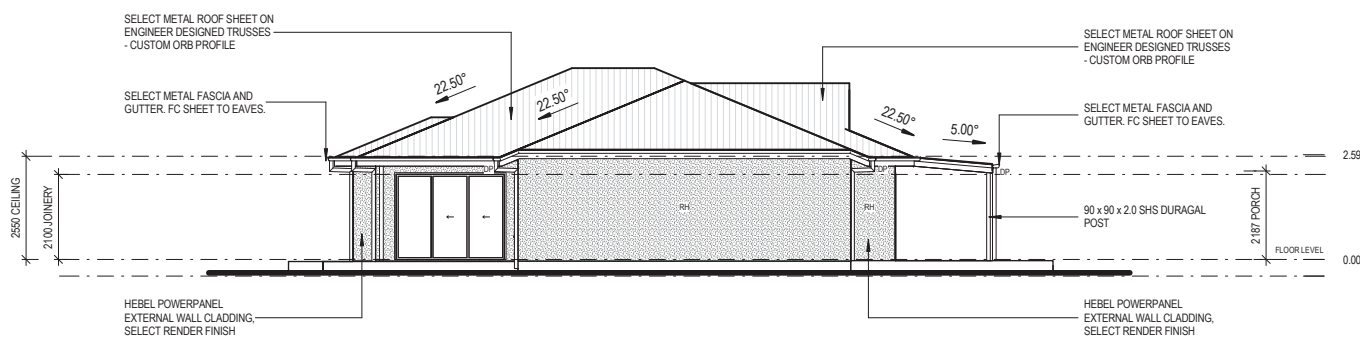
ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**FRONT ELEVATION**  
1 : 100



**LEFT ELEVATION**  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RSB - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	18.02.19	Vanity Drawers	MK
B	25.03.19	Site Plan & Doors	MK
C	11.10.19	Changes	MK
D	27.03.20	STAGE 2	MK
E	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qst 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
 affinity

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE  
1:100

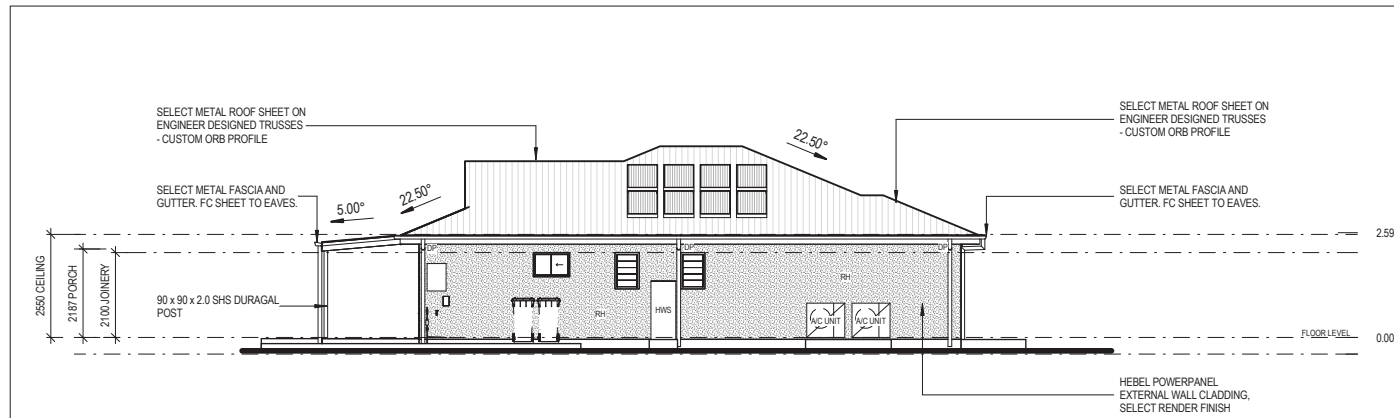
JOB CODE  
C-ASM

SHEET 3 OF 17

**ALEXANDRIA 2 - HIP**



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



RIGHT ELEVATION  
1 : 100



REAR ELEVATION  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBB - RENDERED BLUEBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	18.02.19	Vanly Drawers	MK
B	25.03.19	Site Plan & Doors	MK
C	11.10.19	Changes	MK
D	27.03.20	STAGE 2	MK
E	07.07.20	METERBOX	MK



po box 6384 p (07) 5442 6413  
maroochydrone t (07) 5450 6437  
684 6558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 4 OF 17

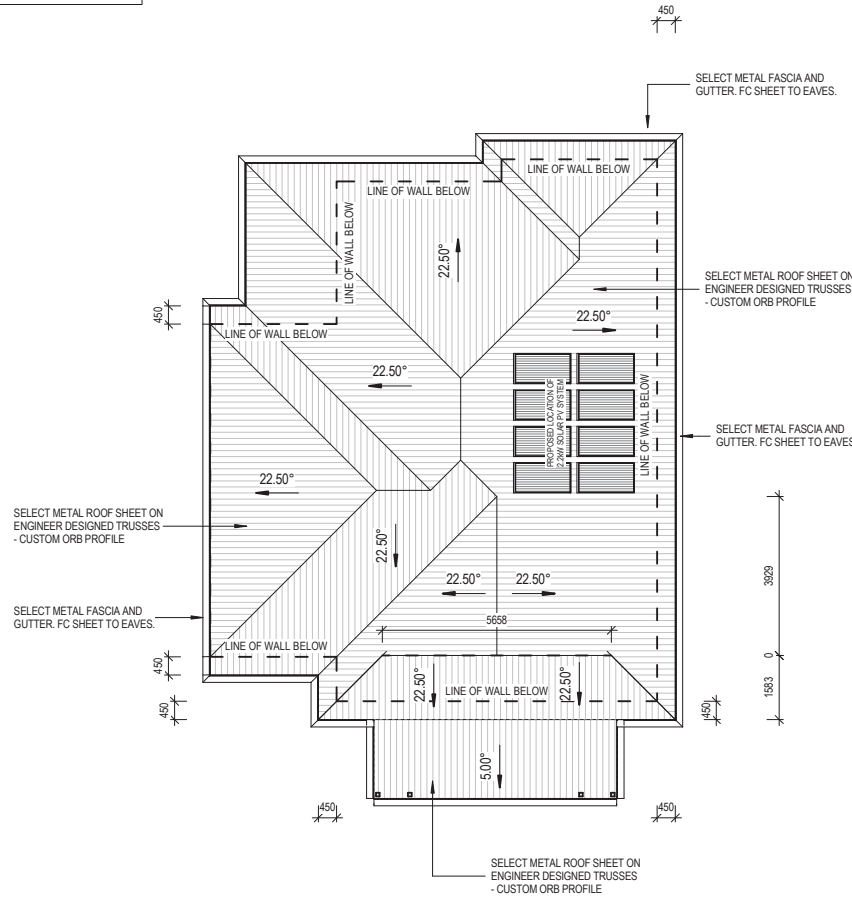
ALEXANDRIA 2 - HIP

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

ROOF PLAN

- (i) EXHAUST FROM BATHROOMS, KITCHENS, SANITARY COMPARTMENTS AND LAUNDRIES MUST BE MECHANICALLY DISCHARGED DIRECTLY TO OUTDOOR AIR DUCTED OR SIMILAR, AND COMPLY WITH NCC PART 3.8
- (ii) SOLAR PV SYSTEM TO BE LOCATED ONSITE (DRAWN LOCATION IS APPROX ONLY), SKYLIGHTS TO BE FLASHED TO RIDGE.

IF SOLAR UPGRADE OPTION SELECTED. PROPOSED LOCATION TBC WHEN SITED.



ROOF PLAN

1 : 100

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBP - CUPBOARD
  - DF - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBB - RENDERED BLUEBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

ISSUE	#	DATE	DETAILS	BY
A	18.02.19		Vanity Drawers	MK
B	25.03.19		Site Plan & Doors	MK
C	11.10.19		Changes	MK
D	27.03.20		STAGE 2	MK
E	07.07.20		METERBOX	MK



po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 103000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ROOF PLAN

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:



SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY Designer

DRAWN BY Author

SCALE  
1 : 100

JOB CODE  
C-ASM

SHEET 5 OF 17

ALEXANDRIA 2 - HIP

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**GENERAL NOTES**

- ALL MATERIALS SHALL BE NEW.
- FOOTINGS: TO ENGINEER DETAILS. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SLAB: TO ENGINEER DETAILS. UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TERRITILE CONTROL AS PER BUILDERS SPECIFICATIONS.
- STUD FRAMING: ALL FIXINGS AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS: AS PER BUILDERS SPECIFICATIONS.
- ROOFING: COLORBOND METAL SHEET ROOFING OR CONCRETE ROOF TILES OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- PLUMBER AND DRAINER: TO LOCAL AUTHORITY REGULATIONS.
- ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS.
- ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

**BUSHFIRE REQUIREMENTS - BAL 12.5**

DESIGN IN ACCORDANCE WITH AS 3959-2018 REFER SECTION 3 & 5 FOR DETAILED REQUIREMENTS

**WATER & GAS SUPPLY**

(i) ALL EXPOSED WATER AND GAS SUPPLY LINES TO BE METAL.

**OPENINGS**

(i) DOOR/WINDOWS TO BE SCREENED. MAX APERTURE SIZE 2mm

(ii) VENTS/WEEPHOLES TO BE MESH COVERED TO MEET BAL REQUIREMENTS. MAX APERTURE 2mm

(iii) DOOR/WINDOW FRAMES TO BE MADE OF FIRE-RESISTANT TIMBER

(iv) GARAGE DOOR TO BE FITTED WITH NON-COMBUSTIBLE WEATHERSTRIP WITH MAX 3mm GAPS

(v) ALL GLAZING TO COMPLY WITH REQUIREMENTS

**ROOFING**

(i) SKYLIGHTS TO BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(ii) ANY ATTACHED ITEM ON ROOF (ie ANTENNA) ARE TO BE ADEQUATELY SEALED TO THE ROOF TO PREVENT GAPS >3mm AND BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(iii) VENTILATION OPENINGS SHALL BE FITTED WITH EMBER-GUARDS BE MADE FROM A NON-COMBUSTIBLE MATERIAL AND HAVE A MAX APERTURE SIZE OF 2mm

(iv) SARKING/ANTICON MUST HAVE A FLAME-INDEX GREATER THAN 5.

(v) SARKING TO COVER ENTIRE ROOF AREA TO EDGE OF FASCIA.

**NOTES:**

- YARD PIT LOCATION TO BE DETERMINED ONSITE (SHOWN APPROX ON PLANS).
- ROOFWATER DISCHARGE TO: Kerb & Channel
- Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties
- Stormwater system to comply with AS3500 Part 3

WIND CATEGORY - N2

BOUNDARY - 12000

BOUNDARY - 19000

BOUNDARY - 12000

BOUNDARY - 19000

PROPOSED RELOCATABLE DWELLING

PAD LEVEL RL. -0.410 m

CONCRETE DRIVEWAY

YARD PIT

METER BOX

WATER METER

900 WALL

250 WALL

700

450

900

450

1000

500

900

450

**LEGEND - INTERNAL**

BC - BROOM CUPBOARD  
 CBD - CUPBOARD  
 DP - DOWNPIPE  
 DW - DISHWASHER PROV.  
 FW - FLOOR WASTE  
 GAS - GAS CONNECTION  
 HP - HOT PLATE  
 HWS - HOT WATER SYSTEM  
 L - LINEN  
 MH - MANHOLE  
 MW - MICROWAVE PROV.  
 OHC - OVERHEAD CUPBOARD  
 PTY - PANTRY  
 R - ROBE  
 REF - REFRIGERATOR SPACE  
 RH - RANGEHOOD  
 SH - SHELF  
 TR - TOWEL RAIL  
 TRH - TOILET ROLL HOLDER  
 UBO - UNDER-BENCH OVEN  
 WO - WALL OVEN

**LEGEND - EXTERNAL**

BV - BRICK VENEER  
 CJ - CONTROL JOINT  
 FC - FIBRE CEMENT SHEETING  
 RH - RENDERED HEBEL PANELS  
 RBB - RENDERED BLUEBOARD  
 RB - RENDERED BRICKWORK  
 RBL - RENDERED BLOCKWORK  
 SA - SCYON ACON  
 SL - SCYON LINEA  
 SM - SCYON MATRIX PANELING  
 SS - SCYON STRIA GLAZING  
 WB - HARDIES NEWPORT

**PROPERTY DESCRIPTION**

LOT 22 SP 220446  
 LOCAL COUNCIL - MORETON  
 BAY REGIONAL COUNCIL  
 AREA :

ISSUE	#	DATE	DETAILS	BY
	1	07.07.20	METERBOX	MK
	2	22.07.20	CHANGES	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
 maroochydore t (07) 5450 6437  
 qld 4558 qbcc 103000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**SITE PLAN**

PROJECT DESCRIPTION:  
 Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
 70 AMY STREET  
 MORAYFIELD

DESIGNED BY AUSMAR  
 DRAWN BY AUSMAR

SCALE 1: 100	JOB CODE C-ASM
-----------------	-------------------

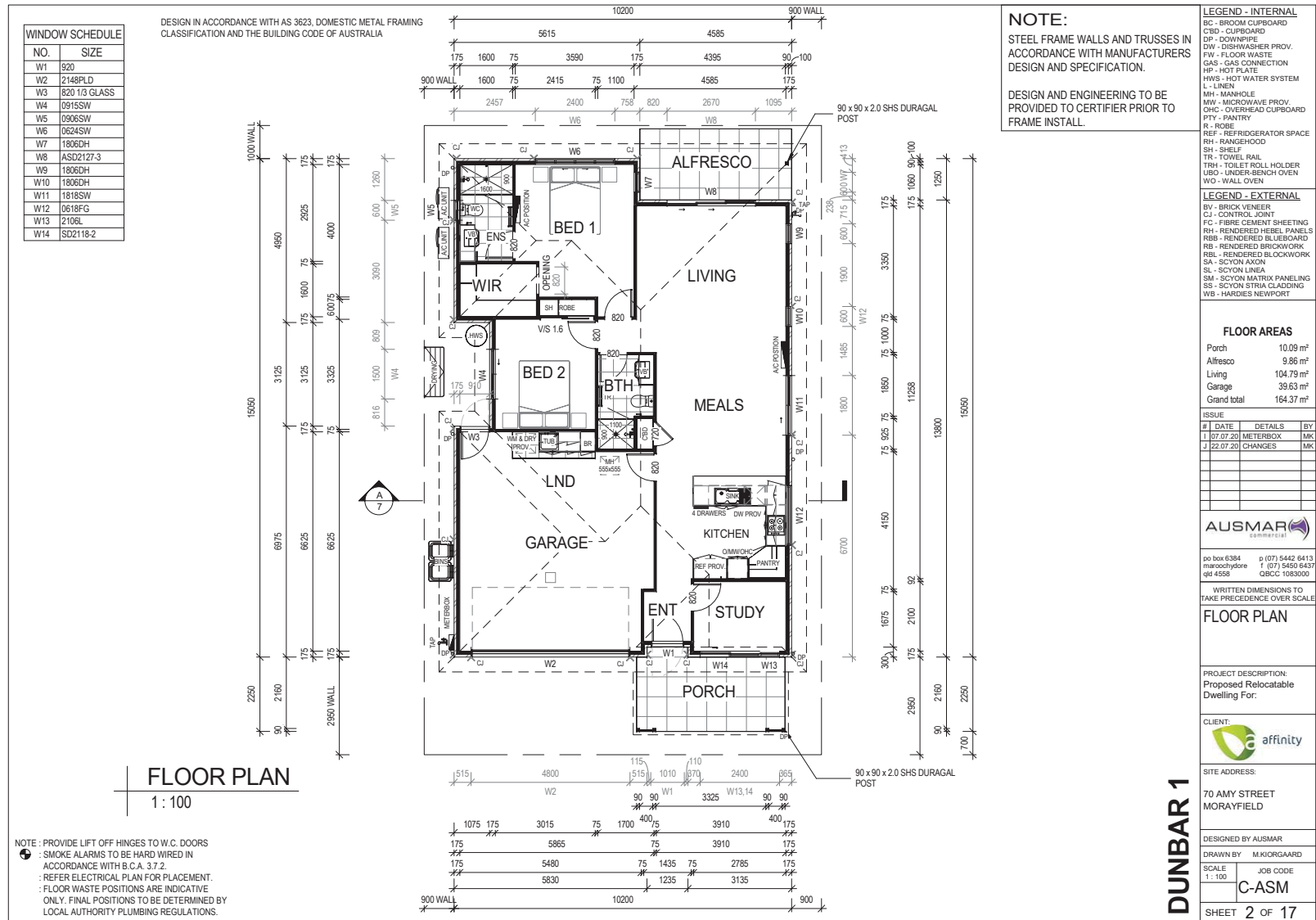
SHEET 1 OF 17

**SITE PLAN**

1: 100

DUNBAR 1

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

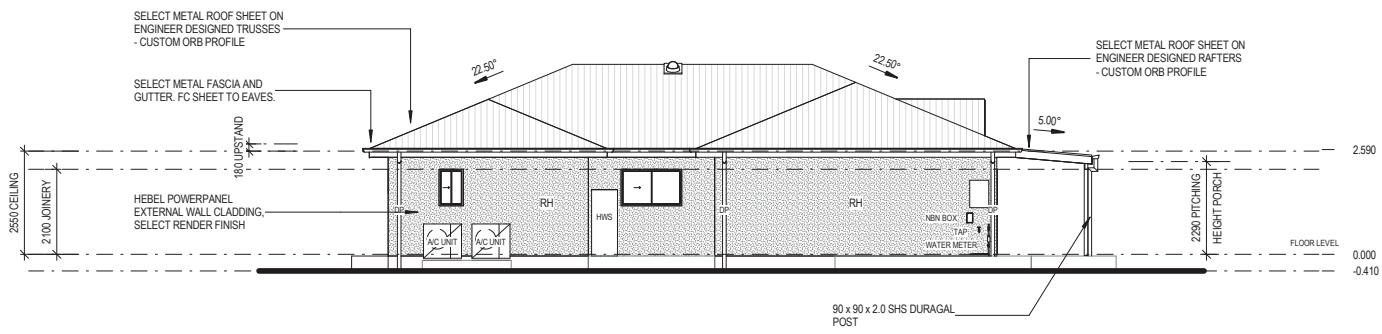




ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



FRONT ELEVATION  
1 : 100



LEFT ELEVATION  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOWEL ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
1	07.07.20	METERBOX	MK
2	22.07.20	CHANGES	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6464 6568 QBC6 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 3 OF 17

**DUNBAR 1**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**RIGHT ELEVATION**  
1 : 100



**REAR ELEVATION**  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWB - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOWEL ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RB - RENDERED BRICKWORK
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

ISSUE	#	DATE	DETAILS	BY
	1	07.07.20	METERBOX	MK
	2	22.07.20	CHANGES	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6464 6568 QBCC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
**affinity**

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 4 OF 17

**DUNBAR 1**



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**GENERAL NOTES**

- ALL MATERIALS SHALL BE NEW.
- FOOTINGS TO ENGINEER DETAILS. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SLAB: TO ENGINEER DETAILS UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TERRAZO CONTROL AS PER BUILDERS SPECIFICATIONS.
- STUD FRAMING: ALL FIXINGS AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS: AS PER BUILDERS SPECIFICATIONS.
- ROOFING: COLORBOND METAL SHEET ROOFING OR CONCRETE ROOF TILES OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- PLUMBER AND DRAINER: TO LOCAL AUTHORITY REGULATIONS.
- ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS.
- ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

**BUSHFIRE REQUIREMENTS - BAL 12.5**

DESIGN IN ACCORDANCE WITH AS 3959-2018 REFER SECTION 3 & 5 FOR DETAILED REQUIREMENTS

**WATER & GAS SUPPLY**

(i) ALL EXPOSED WATER AND GAS SUPPLY LINES TO BE METAL.

**OPENINGS**

(i) DOOR/WINDOWS TO BE SCREENED. MAX APERTURE SIZE 2mm

(ii) VENTS/WEEPHOLES TO BE MESH COVERED TO MEET BAL REQUIREMENTS. MAX APERTURE 2mm

(iii) DOOR/WINDOW FRAMES TO BE MADE OF FIRE-RESISTANT TIMBER

(iv) GARAGE DOOR TO BE FITTED WITH NON-COMBUSTABLE WEATHERSTRIP WITH MAX 3mm GAPS

(v) ALL GLAZING TO COMPLY WITH REQUIREMENTS

**ROOFING**

(i) SKYLIGHTS TO BE MADE FROM A NON-COMBUSTABLE MATERIAL

(ii) ANY ATTACHED ITEM ON ROOF (ie ANTENNA) ARE TO BE ADEQUATELY SEALED TO THE ROOF TO PREVENT GAPS >3mm AND BE MADE FROM A NON-COMBUSTABLE MATERIAL

(iii) VENTILATION OPENINGS SHALL BE FITTED WITH EMBER-GUARDS BE MADE FROM A NON-COMBUSTABLE MATERIAL AND HAVE A MAX APERTURE SIZE OF 2mm

(iv) SARKING/ANTICON MUST HAVE A FLAME-INDEX GREATER THAN 5.

(v) SARKING TO COVER ENTIRE ROOF AREA TO EDGE OF FASCIA.

**NOTES:**

- YARD PIT LOCATION TO BE DETERMINED ONSITE (SHOWN APPROX ON PLANS).
- ROOFWATER DISCHARGE TO: Kerb & Channel
- Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties
- Stormwater system to comply with AS3500 Part 3

WIND CATEGORY - N2

BOUNDARY - 19000

BOUNDARY - 15000

BOUNDARY - 8000

BOUNDARY - 12000

PROPOSED DWELLING  
RL. -0.310 m

PLD 2100 x 4800 CLEAR OPENING

CONCRETE DRIVEWAY

CLOTHESLINE

HWS

DP

1200, 750, 1500, 900, 1600, 1150, 825, 4800, 800, 240, 500

**LEGEND - INTERNAL**

BC - BROOM CUPBOARD  
CBP - CUPBOARD  
DP - DOWNPIPE  
DW - DISHWASHER PROV.  
FW - FLOOR WASTE  
GAS - GAS CONNECTION  
HP - HOT PLATE  
HWS - HOT WATER SYSTEM  
L - LINEN  
MH - MANHOLE  
MW - MICROWAVE PROV.  
OHC - OVERHEAD CUPBOARD  
PTV - PANTRY  
R - ROBE  
REF - REFRIGERATOR SPACE  
RH - RANGEHOOD  
SH - SHELF  
TR - TOWEL RAIL  
TRH - TOILET ROLL HOLDER  
UBO - UNDER-BENCH OVEN  
WO - WALL OVEN

**LEGEND - EXTERNAL**

BV - BRICK VENEER  
CJ - CONTROL JOINT  
FC - FIBRE CEMENT SHEETING  
RH - RENDERED HEBEL PANELS  
RBB - RENDERED BLUEBOARD  
RB - RENDERED BRICKWORK  
RBL - RENDERED BLOCKWORK  
SA - SCYON SAKON  
SL - SCYON LINE  
SM - SCYON MATRIX PANELING  
SS - SCYON STRIA GLAZING  
WB - HARDIES NEWPORT

**PROPERTY DESCRIPTION**

LOT 22 SP 220446  
LOCAL COUNCIL - MORETON BAY REGIONAL COUNCIL  
AREA :

#	DATE	DETAILS	BY
A	28.07.20	WD ISSUE	MK
B	10.08.20	CHANGES	PW

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qst 4558 qbcc 103000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**SITE PLAN**

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY M. KIORGAARD

SCALE 1:100 JOB CODE C-ASM

SHEET 1 OF 19

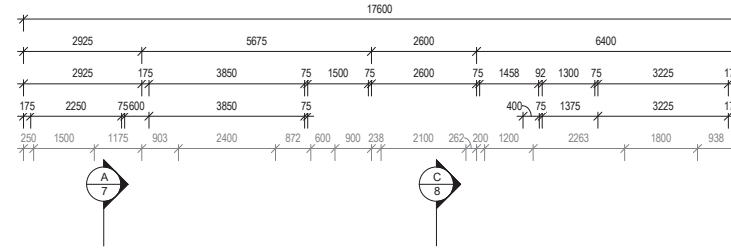
**SITE PLAN**  
1 : 100

**GRACEMERE**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

NO.	SIZE
W1	2148PLD
W2	SD2115-2
W3	1224SW
W4	0606AW
W5	1221SW
W6	0612SW
W7	0618SW
W8	1224SW
W9	SD2118-2
W10	ASD2127-3
W11	1806L
W12	1806L
W13	920 (400 SIDELITE)
W14	1218SW

DESIGN IN ACCORDANCE WITH AS 3623, DOMESTIC METAL FRAMING CLASSIFICATION AND THE BUILDING CODE OF AUSTRALIA



**NOTE:**  
STEEL FRAME WALLS AND TRUSSES IN ACCORDANCE WITH MANUFACTURERS DESIGN AND SPECIFICATION.

DESIGN AND ENGINEERING TO BE PROVIDED TO CERTIFIER PRIOR TO FRAME INSTALL.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBU - CUPBOARD
- DF - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HW5 - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RIB - RENDERED BLUEBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON AJOON
- SL - SCYON LINE
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

**FLOOR AREAS**

Living	108.49 m <sup>2</sup>
Garage	36.83 m <sup>2</sup>
Alfresco	9.45 m <sup>2</sup>
Porch	6.90 m <sup>2</sup>
Grand total	161.66 m <sup>2</sup>

**ISSUE**

#	DATE	DETAILS	BY
A	28.07.20	WD ISSUE	MR
B	10.08.20	CHANGES	PH



po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**FLOOR PLAN**

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY

DRAWN BY

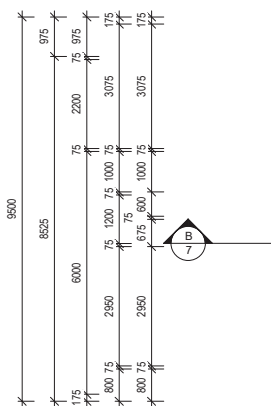
SCALE

1: 100

JOB CODE  
**C-ASM**

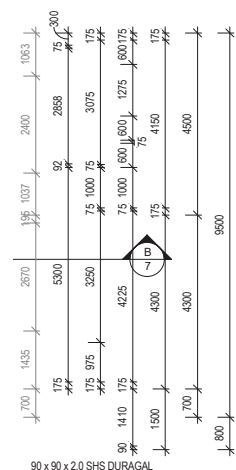
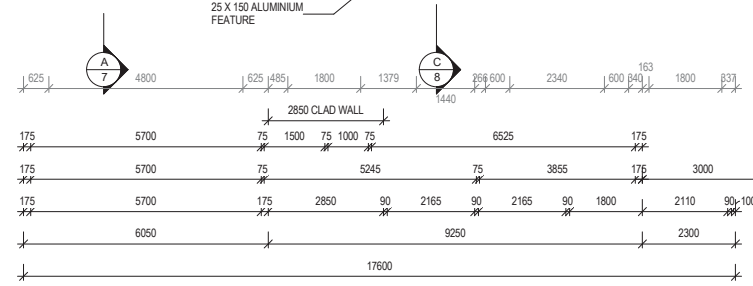
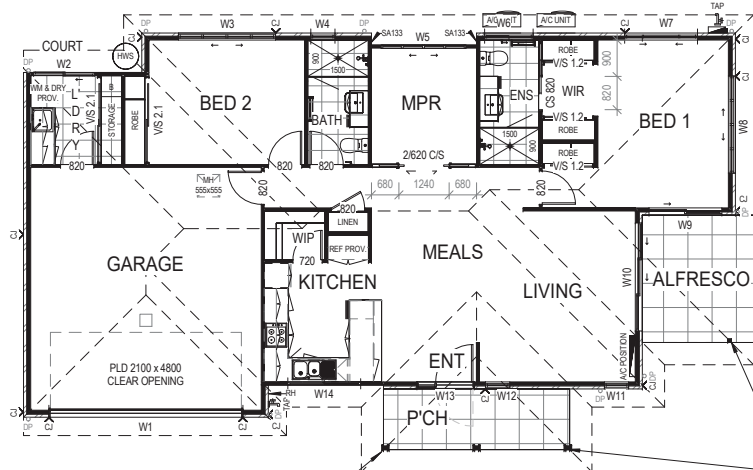
SHEET 2 OF 19

**GRACEMERE**



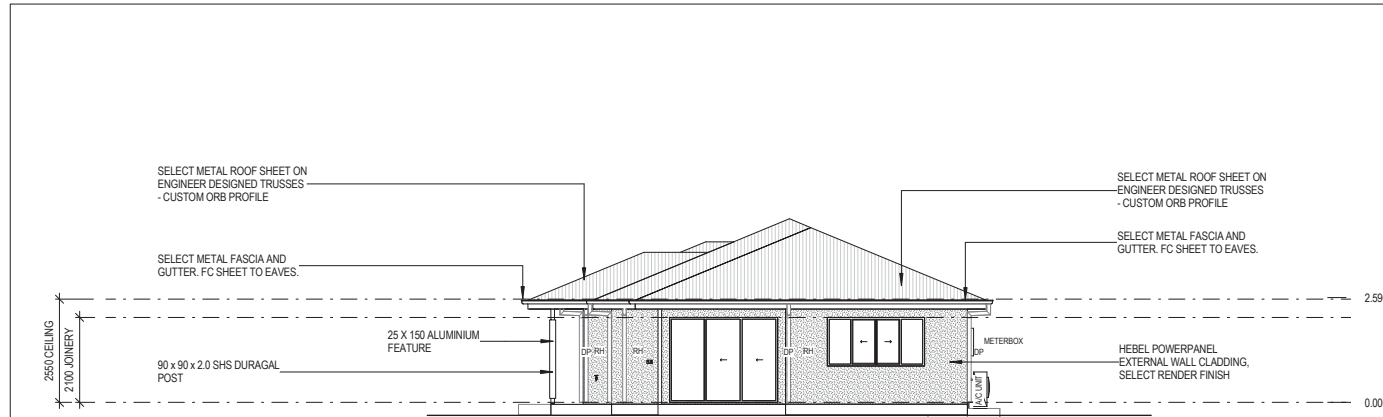
**FLOOR PLAN**  
1: 100

NOTE : PROVIDE LIFT OFF HINGES TO W.C. DOORS  
☉ : SMOKE ALARMS TO BE HARD WIRED IN ACCORDANCE WITH B.C.A. 3.7.2.  
⊕ : REFER ELECTRICAL PLAN FOR PLACEMENT.  
FLOOR WASTE POSITIONS ARE INDICATIVE ONLY. FINAL POSITIONS TO BE DETERMINED BY LOCAL AUTHORITY PLUMBING REGULATIONS.





ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



FRONT ELEVATION

1:100



LEFT ELEVATION

1:100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBD - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBS - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLADDING
- WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	28.07.20	WD ISSUE	MK
B	10.08.20	CHANGES	PW



po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6464 6568 QBCB 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

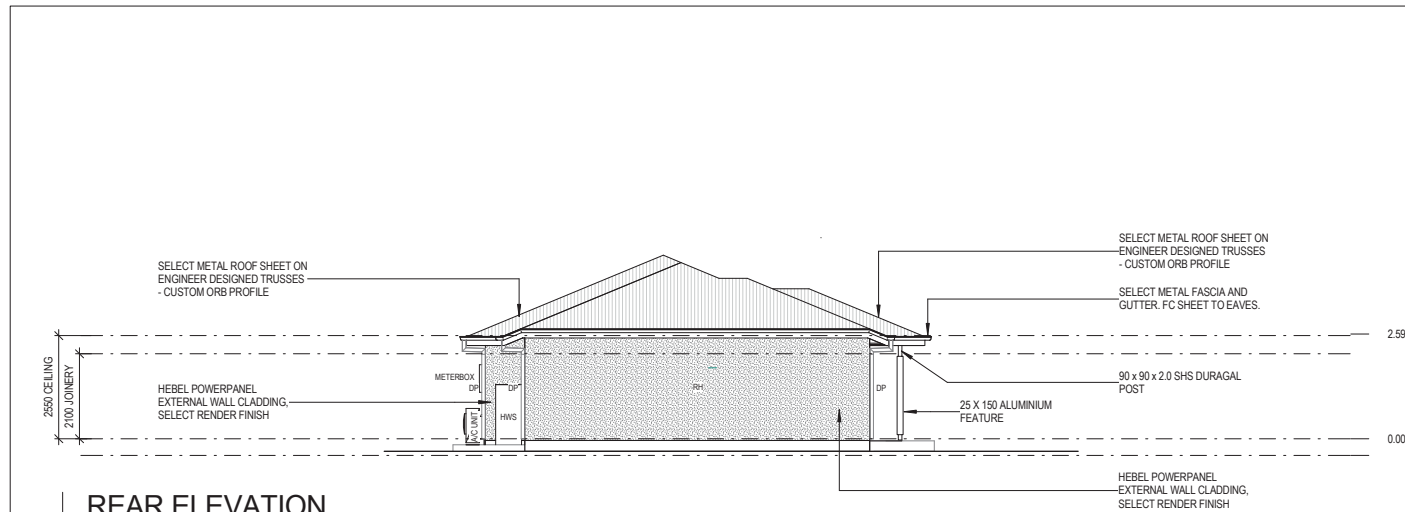
DESIGNED BY AUSMAR  
DRAWN BY M. KIORGAARD

SCALE  
1:100  
JOB CODE  
C-ASM

SHEET 4 OF 19

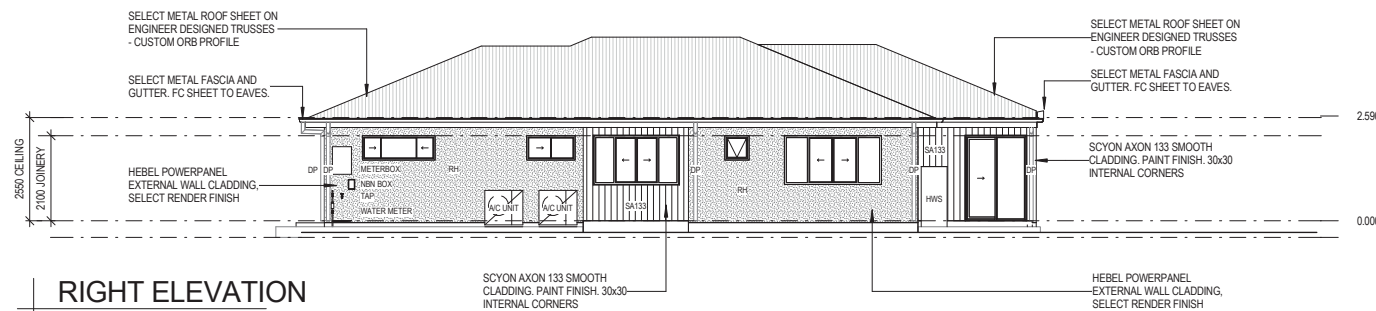
GRACEMERE

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



REAR ELEVATION

1 : 100



RIGHT ELEVATION

1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBD - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBS - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA CLADDING
- WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	28.07.20	WD ISSUE	MK
B	10.08.20	CHANGES	PW

**AUSMAR**  
ENGINEERING

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
641 6558 QBC2 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY M. KIORGAARD

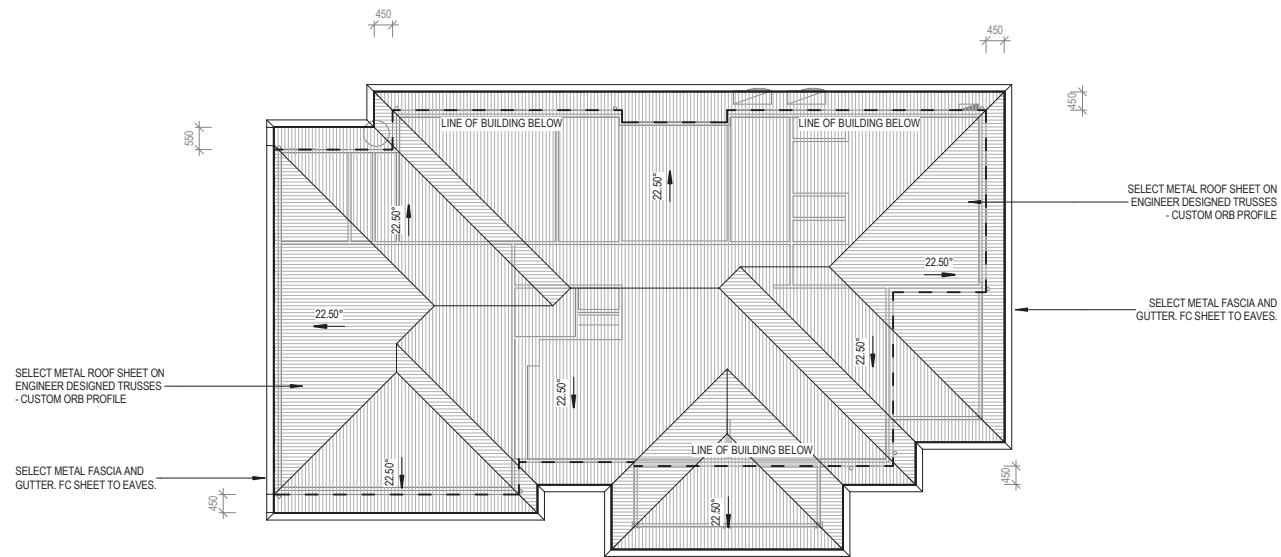
SCALE 1:100 JOB CODE C-ASM

SHEET 5 OF 19

**GRACEMERE**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

- ROOF PLAN**
- (i) EXHAUST FROM BATHROOMS, KITCHENS, SANITARY COMPARTMENTS AND LAUNDRIES MUST BE MECHANICALLY DISCHARGED DIRECTLY TO OUTDOOR AIR DUCTED OR SIMILAR, AND COMPLY WITH NCC PART 3.8
  - (ii) SOLAR PV SYSTEM TO BE LOCATED ONSITE (DRAWN LOCATION IS APPROX ONLY),
  - (iii) SKYLIGHTS TO BE FLASHED TO RIDGE.



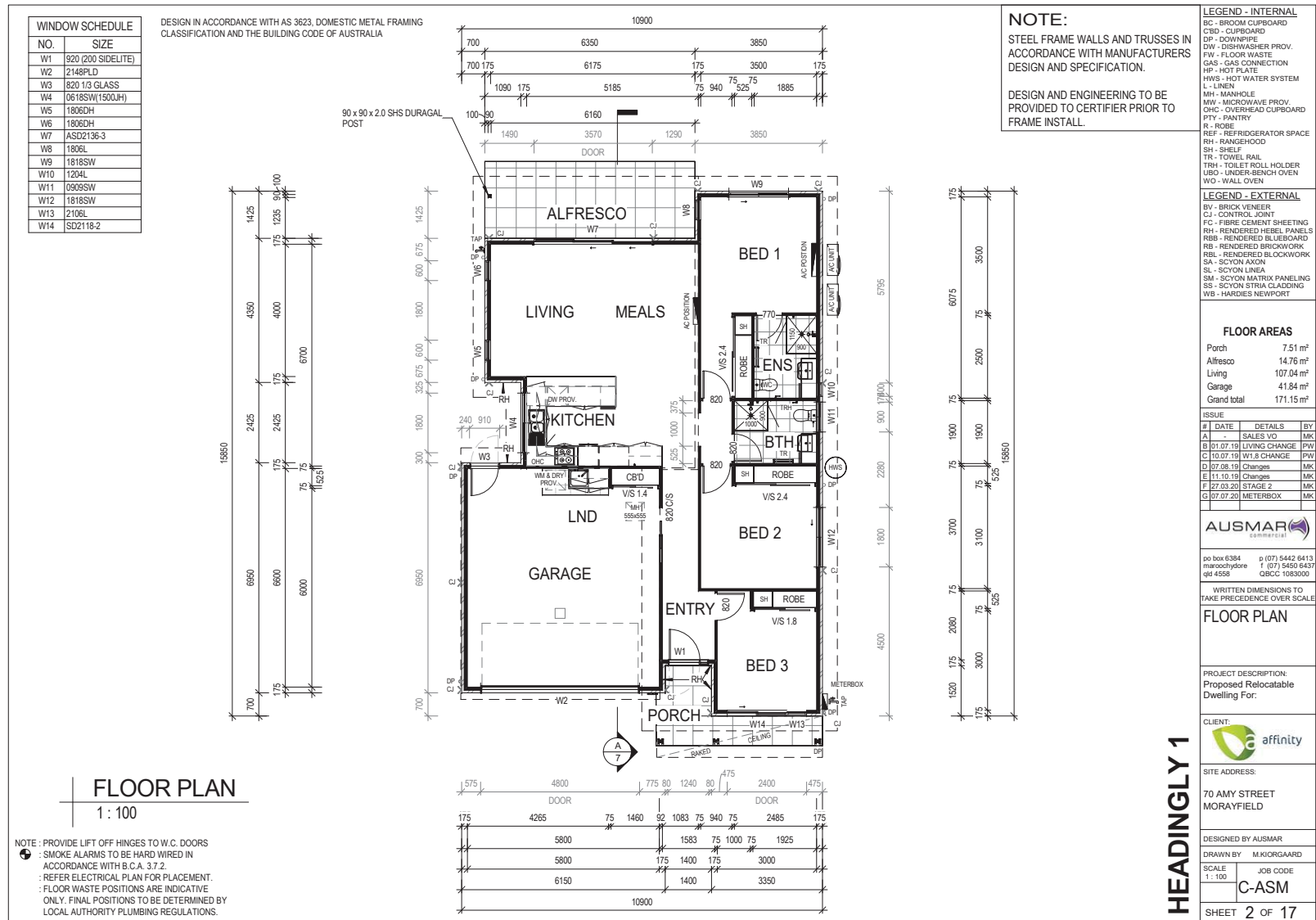
**ROOF PLAN**  
1 : 100

<b>AUSMAR</b> <small>ENGINEERING</small>	
<small>po box 6384 p (07) 5442 6413 maroochydore t (07) 5450 6437 qld 4558 qbcc 10/3000</small>	
<small>WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE</small>	
<b>ROOF PLAN</b>	
<small>PROJECT DESCRIPTION: Proposed Display For:</small>	
<small>CLIENT:</small>	
<small>SITE ADDRESS: 70 AMY STREET MORAYFIELD</small>	
<small>DESIGNED BY AUSMAR</small>	
<small>DRAWN BY M. KIORGAARD</small>	
<small>SCALE 1 : 100</small>	<small>JOB CODE C-ASM</small>

**GRACEMERE**

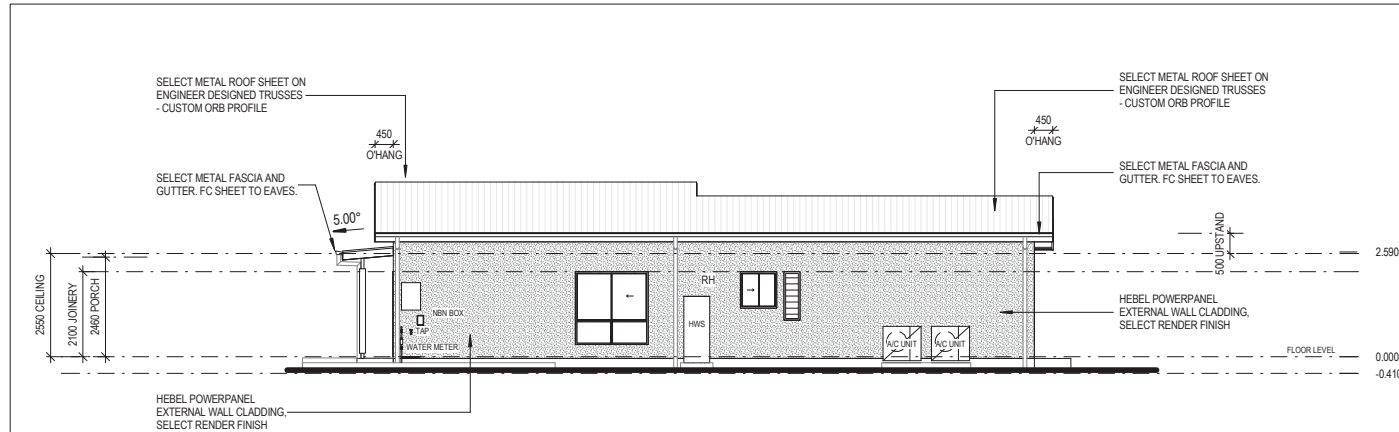


ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

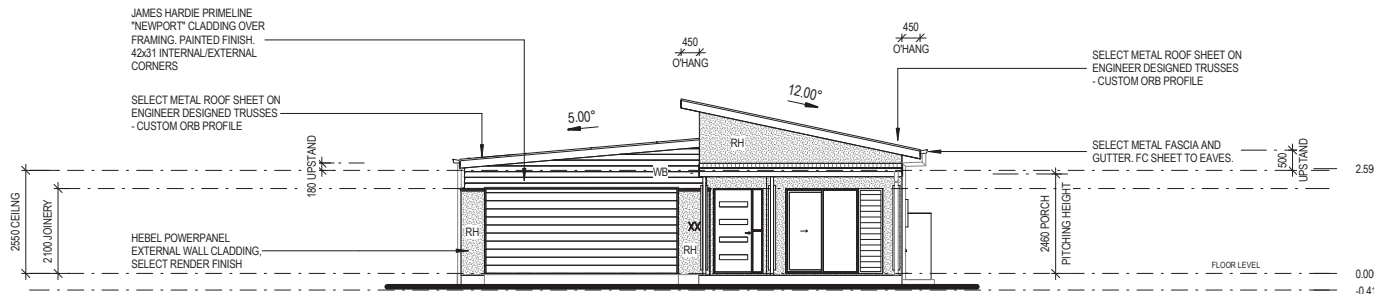




ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



RIGHT ELEVATION  
1 : 100



FRONT ELEVATION  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBU - CUPBOARD
- DF - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBS - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

**ISSUE**

#	DATE	DETAILS	BY
A	-	SALES VO	MK
B	01.07.19	LIVING CHANGE	PKJ
C	10.07.19	W.I.B CHANGE	PW
D	07.08.19	Changes	MK
E	11.10.19	Changes	MK
F	27.03.20	STAGE 2	MK
G	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6414 6558 QBCDC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

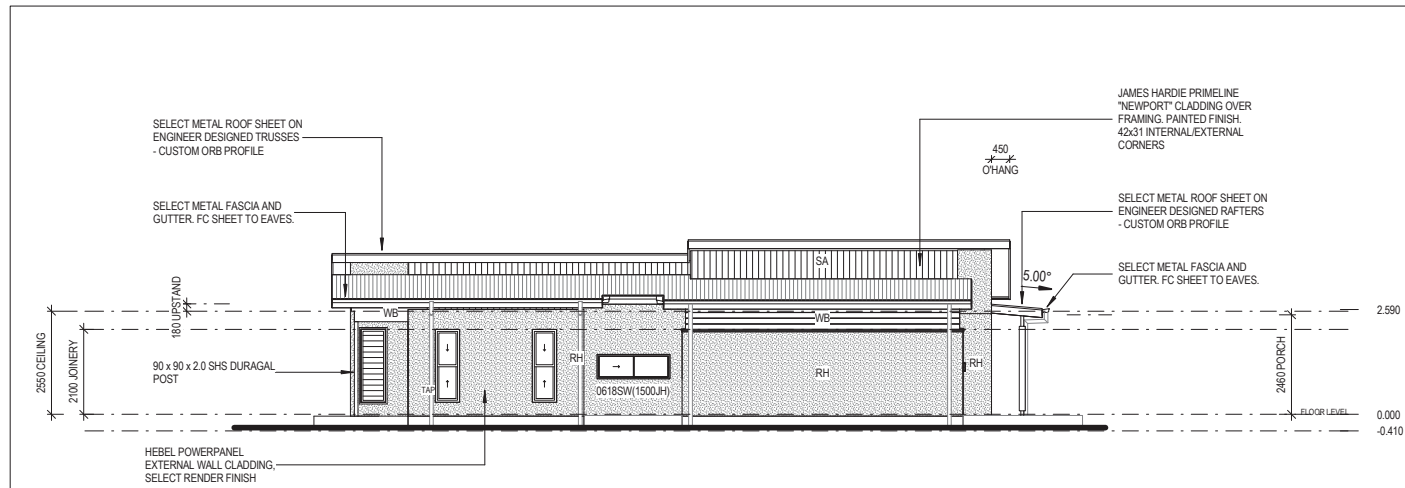
DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

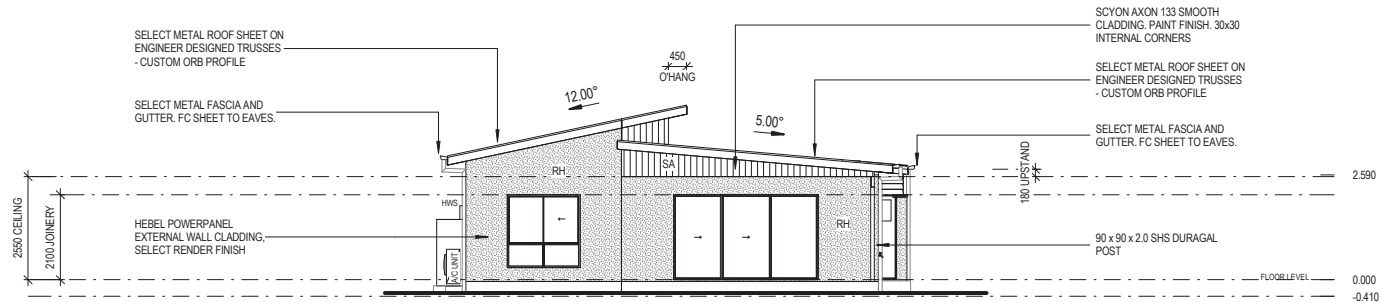
SHEET 3 OF 17

HEADINGLY 1

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**LEFT ELEVATION**  
1 : 100



**REAR ELEVATION**  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBD - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOWEL ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBB - RENDERED BLUEBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA CLADDING
- WB - HARDIES NEWPORT

**ISSUE**

#	DATE	DETAILS	BY
A	-	SALES VO	MK
B	01.07.19	LIVING CHANGE	PKJ
C	10.07.19	W1.B CHANGE	PW
D	07.08.19	Changes	MK
E	11.10.19	Changes	MK
F	27.03.20	STAGE 2	MK
G	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTION

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6464 6568 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

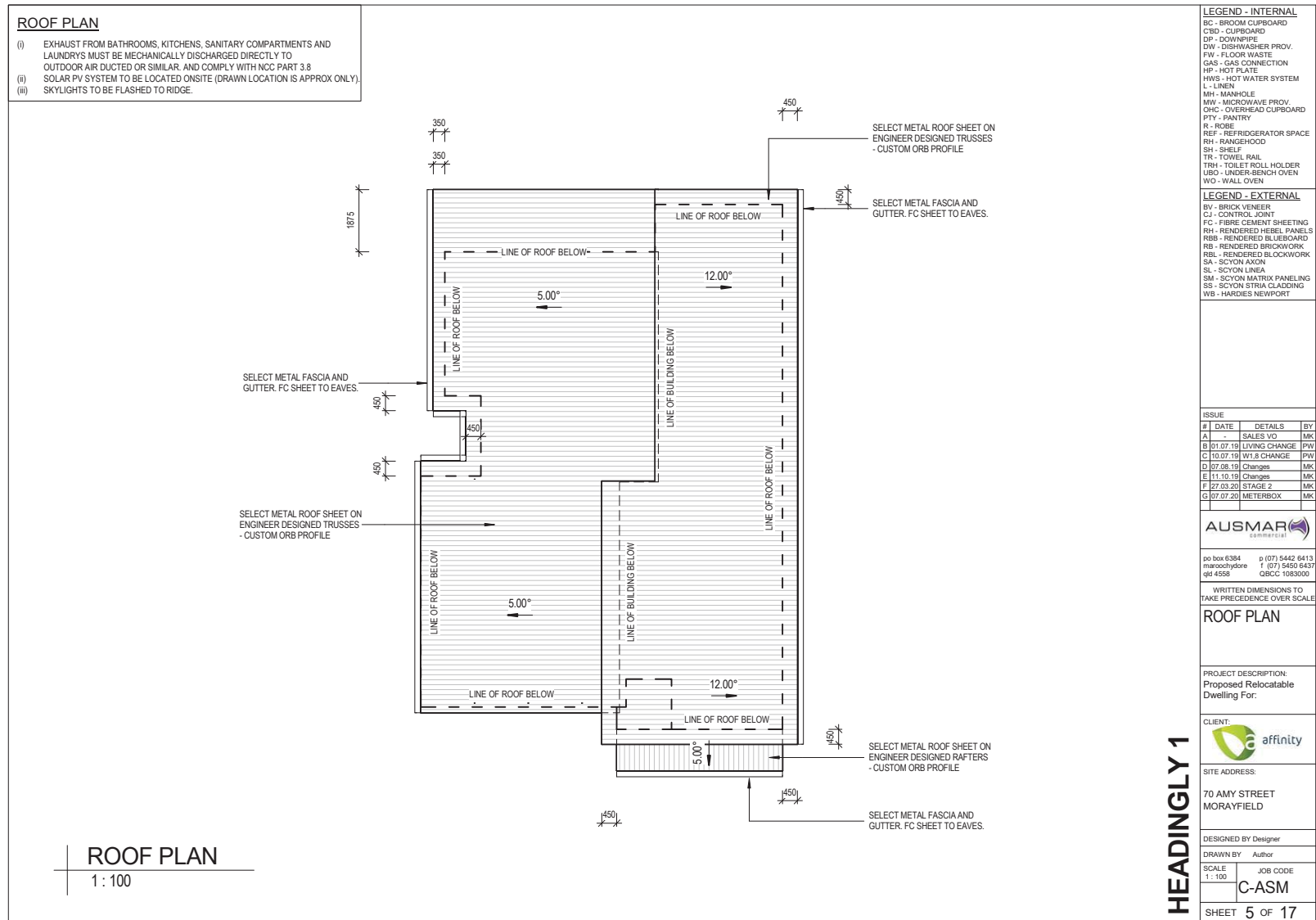
DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 4 OF 17

**HEADINGLY 1**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



HEADINGLY 1

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

### GENERAL NOTES

- ALL MATERIALS SHALL BE NEW.
- FOOTINGS TO ENGINEER DETAILS. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SLAB TO ENGINEER DETAILS. UNDERLAY WITH 2000mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TEMPERATURE CONTROL AS PER BUILDERS SPECIFICATIONS.
- STUD FRAMING ALL FINISHES AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS AS PER BUILDERS SPECIFICATIONS.
- ROOFING: COLORBOND METAL SHEET OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS. FLUMBER AND DRAINER TO LOCAL AUTHORITY REGULATIONS.
- ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS.
- ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1. SPACING OF ARTICULATION JOINTS FOR MASONRY WALLS TO AS 3700 - 2001.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

WIND CATEGORY - N2

PROPOSED  
RELOCATABLE DWELLING  
PAD LEVEL RL -0.410 m

**SITE PLAN**  
1: 100

### LEGEND - INTERNAL

BC - BROOM CUPBOARD  
CDB - CUPBOARD  
DF - DOWNPIPE  
DW - DISHWASHER PROV.  
FW - FLOOR WASTE  
GAS - GAS CONNECTION  
HP - HOT PLATE  
HWS - HOT WATER SYSTEM  
L - LINEN  
MH - MANHOLE  
MW - MICROWAVE PROV.  
OHC - OVERHEAD CUPBOARD  
PTV - PANTRY  
R - ROBE  
REF - REFRIGERATOR SPACE  
RH - RANGEHOOD  
SH - SHELF  
TR - TOWEL RAIL  
TRH - TOILET ROLL HOLDER  
UBO - UNDER-BENCH OVEN  
WO - WALL OVEN

### LEGEND - EXTERNAL

BV - BRICK VENEER  
CJ - CONTROL JOINT  
FC - FIBRE CEMENT SHEETING  
RH - RENDERED HEBEL PANELS  
RBB - RENDERED BLUEBOARD  
RB - RENDERED BRICKWORK  
RBL - RENDERED BLOCKWORK  
SA - SCYON SARKING  
SL - SCYON LINEA  
SM - SCYON MATRIX PANELING  
SS - SCYON STRIA GLAZING  
WB - HARDIES NEWPORT

### PROPERTY DESCRIPTION

LOT 22 SP 220446  
LOCAL COUNCIL - MORETON BAY REGIONAL COUNCIL  
AREA :

#	DATE	DETAILS	BY
A	18.10.19	Prelim Design	MK
B	31.10.19	Changes	PAJ
C	14.01.20	CLADDING	MK
D	27.03.20	STAGE 2	MK
E	07.07.20	METERBOX	MK

**AUSMAR**  
BUILDING DESIGN

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

### SITE PLAN

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
**affinity**

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

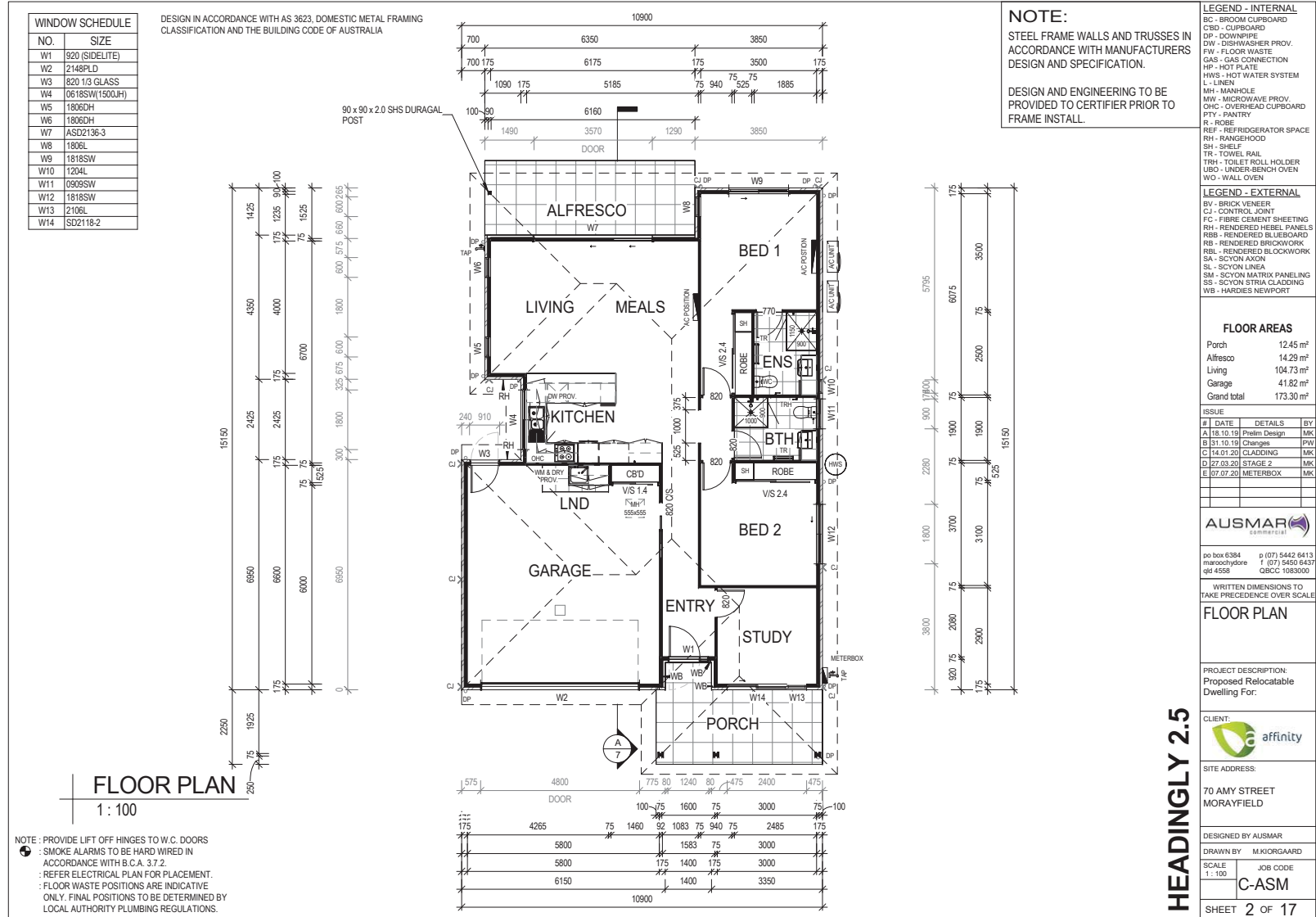
DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1: 100	JOB CODE <b>C-ASM</b>
-----------------	--------------------------

SHEET 1 OF 17

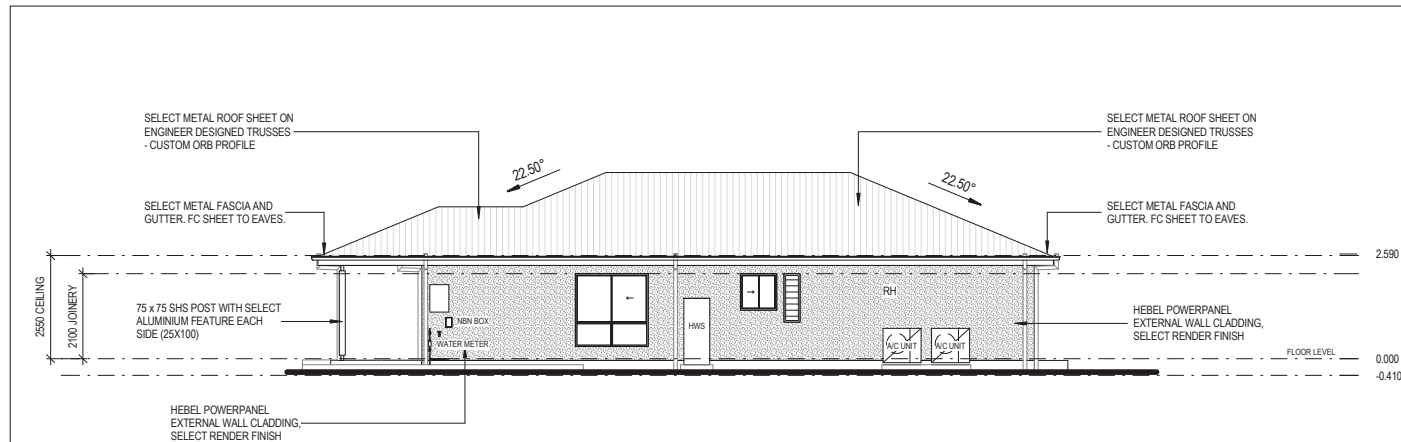
HEADINGLY 2.5

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)





ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



RIGHT ELEVATION  
1 : 100



FRONT ELEVATION  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBD - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOWEL ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RSB - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON ACON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

**ISSUE**

#	DATE	DETAILS	BY
A	18.10.19	Prelim Design	MK
B	31.10.19	Changes	PAJ
C	14.01.20	CLADDING	MK
D	27.03.20	STAGE 2	MK
E	07.07.20	METERBOX	MK



po box 6384 p (07) 5442 6413  
maroochydoore t (07) 5450 6437  
641 4558 QBCC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:



SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

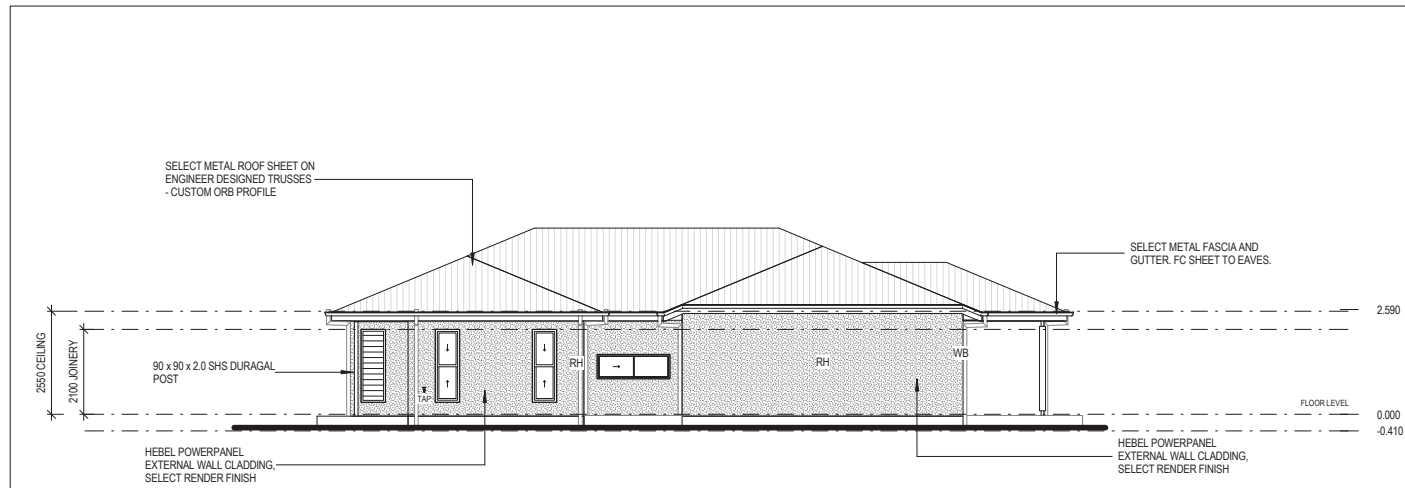
DRAWN BY AUSMAR

SCALE 1:100  
JOB CODE C-ASM

SHEET 3 OF 17

HEADLINGLY 2.5

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



LEFT ELEVATION

1 : 100



REAR ELEVATION

1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBU - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBB - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON ACON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA PANELING
- WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	18.10.19	Prelim Design	MK
B	31.10.19	Changes	PAJ
C	14.01.20	CLADDING	MK
D	27.03.20	STAGE 2	MK
E	07.07.20	METERBOX	MK



po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qst 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:



SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

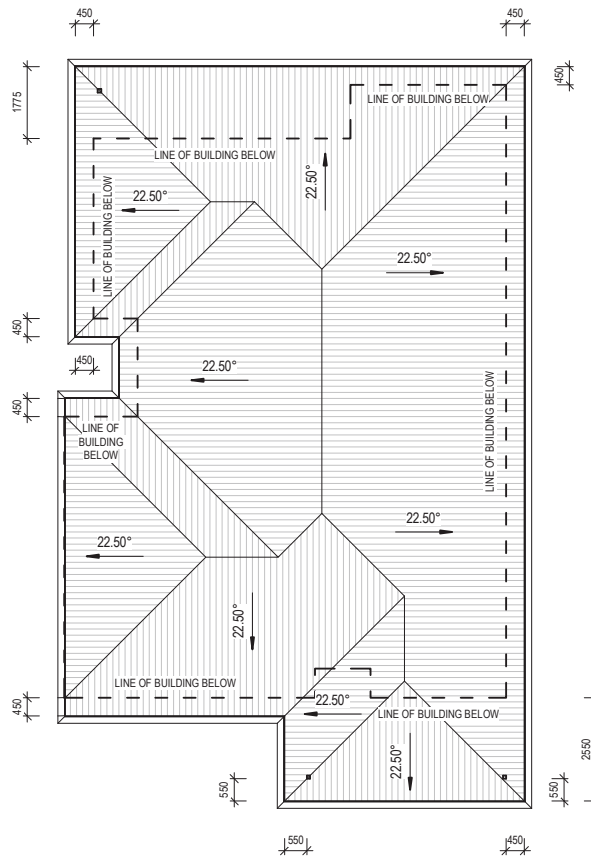
SHEET 4 OF 17

HEADINGLY 2.5

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**ROOF PLAN**

- (i) EXHAUST FROM BATHROOMS, KITCHENS, SANITARY COMPARTMENTS AND LAUNDRIES MUST BE MECHANICALLY DISCHARGED DIRECTLY TO OUTDOOR AIR DUCTED OR SIMILAR, AND COMPLY WITH NCC PART 3.8
- (ii) SOLAR PV SYSTEM TO BE LOCATED ONSITE (DRAWN LOCATION IS APPROX ONLY), SKYLIGHTS TO BE FLASHED TO RIDGE.



**ROOF PLAN**

1 : 100

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RSB - RENDERED BLUEBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

ISSUE	#	DATE	DETAILS	BY
	A	18.10.19	Prelim Design	MK
	B	31.10.19	Changes	PAJ
	C	14.01.20	CLADDING	MK
	D	27.03.20	STAGE 2	MK
	E	07.07.20	METERBOX	MK



po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 103000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ROOF PLAN**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY Designer

DRAWN BY Author

SCALE  
1 : 100

JOB CODE  
C-ASM

SHEET 5 OF 17

**HEADINGLY 2.5**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

### GENERAL NOTES

- ALL MATERIALS SHALL BE NEW.
- FOOTING: TO ENGINEER DETAILS. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SUB: TO ENGINEER DETAILS. UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TEMPERATURE CONTROL AS PER BUILDERS SPECIFICATIONS.
- STUD FRAMING: ALL FINISHES AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS: AS PER BUILDERS SPECIFICATIONS.
- ROOFING: COLORBOND METAL SHEET OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- FLUMBER AND DRAINER: TO LOCAL AUTHORITY REGULATIONS.
- ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS.
- ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1.
- SPACING OF ARTICULATION JOINTS FOR MASONRY WALLS TO AS 3700 - 2001.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

WIND CATEGORY - N2

PROPOSED  
RELOCATABLE DWELLING  
PAD LEVEL RL. -0.410 m

**SITE PLAN**  
1 : 100

### LEGEND - INTERNAL

BC - BROOM CUPBOARD  
CDB - CUPBOARD  
DP - DOWNPIPE  
DW - DISHWASHER PROV.  
FW - FLOOR WASTE  
GAS - GAS CONNECTION  
HP - HOT PLATE  
HWS - HOT WATER SYSTEM  
L - LINEN  
MH - MANHOLE  
MW - MICROWAVE PROV.  
OHC - OVERHEAD CUPBOARD  
PTV - PANTRY  
R - ROBE  
REF - REFRIGERATOR SPACE  
RH - RANGEHOOD  
SH - SHELF  
TR - TOWEL RAIL  
TRH - TOILET ROLL HOLDER  
UBO - UNDER BENCH OVEN  
WO - WALL OVEN

### LEGEND - EXTERNAL

BV - BRICK VENEER  
CJ - CONTROL JOINT  
FC - FIBRE CEMENT SHEETING  
RH - RENDERED HEBEL PANELS  
RBB - RENDERED BLUEBOARD  
RB - RENDERED BRICKWORK  
RBL - RENDERED BLOCKWORK  
SA - SCYON SARKING  
SL - SCYON LINEA  
SM - SCYON MATRIX PANELING  
SS - SCYON STRIA GLAZING  
WB - HARDIES NEWPORT

### BUSHFIRE REQUIREMENTS - BAL12.5

DESIGN IN ACCORDANCE WITH AS 3959-2018  
REFER SECTION 3 & 5 FOR DETAILED REQUIREMENTS

WATER & GAS SUPPLY  
(i) ALL EXPOSED WATER AND GAS SUPPLY LINES TO BE METAL.

OPENINGS  
(i) DOOR/WINDOWS TO BE SCREENED. MAX APERTURE SIZE 2mm  
(ii) VENTS/WEEPHOLES TO BE MESH COVERED TO MEET BAL REQUIREMENTS. MAX APERTURE 2mm  
(iii) DOOR/WINDOW FRAMES TO BE MADE OF FIRE-RESISTANT TIMBER  
(iv) GARAGE DOOR TO BE FITTED WITH NON-COMBUSTIBLE WEATHERSTRIP WITH MAX 3mm GAPS  
(v) ALL GLAZING TO COMPLY WITH REQUIREMENTS

ROOFING  
(i) SKYLIGHTS TO BE MADE FROM A NON-COMBUSTIBLE MATERIAL  
(ii) ANY ATTACHED ITEM ON ROOF (ie ANTENNA) ARE TO BE ADEQUATELY SEALED TO THE ROOF TO PREVENT GAPS >3mm AND BE MADE FROM A NON-COMBUSTIBLE MATERIAL  
(iii) VENTILATION OPENINGS SHALL BE FITTED WITH EMBER GUARDS BE MADE FROM A NON-COMBUSTIBLE MATERIAL AND HAVE A MAX APERTURE SIZE OF 2mm  
(iv) SARKING/ANTICORN MUST HAVE A FLAME-INDEX GREATER THAN 5.  
(v) SARKING TO COVER ENTIRE ROOF AREA TO EDGE OF FASCIA.

**NOTES:**  
- YARD PIT LOCATION TO BE DETERMINED ONSITE (SHOWN APPROX ON PLANS).  
- ROOFWATER DISCHARGE TO: Kerb & Channel  
• Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties  
• Stormwater system to comply with AS3500 Part 3

PROPERTY DESCRIPTION  
LOT 22 SP 220446  
LOCAL COUNCIL - MORETON BAY REGIONAL COUNCIL  
AREA :

#	DATE	DETAILS	BY
A	01.07.19	LIVING CHANGE	PW
B	02.07.19	HIP ROOF	PAJ
C	10.07.19	WIN & CLADDING	PW
D	07.08.19	Changes	MK
E	11.10.19	Changes	MK
F	27.03.20	STAGE 2	MK
G	07.07.20	METERBOX	MK

**AUSMAR**  
BUILDING DESIGN

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
961 6568 QBC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**SITE PLAN**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
**affinity**

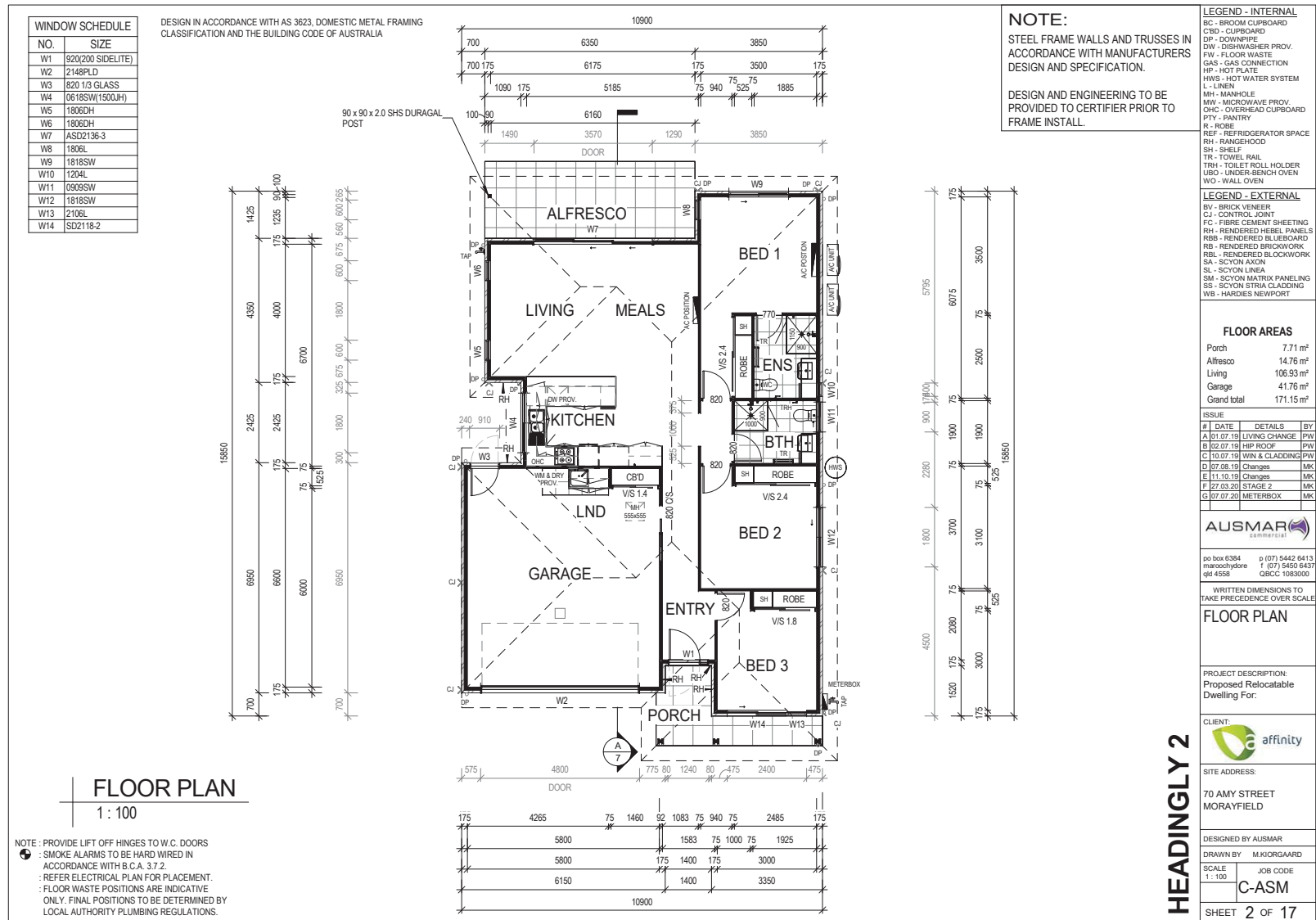
SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1 : 100	JOB CODE <b>C-ASM</b>
------------------	--------------------------

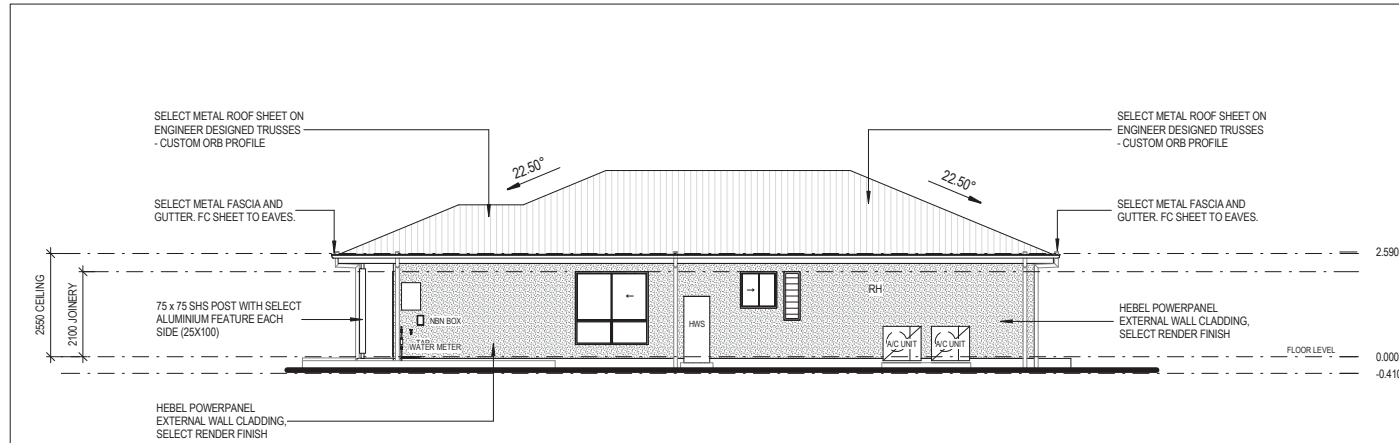
SHEET 1 OF 17

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)





ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



RIGHT ELEVATION  
1 : 100



FRONT ELEVATION  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBD - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOWEL ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBS - RENDERED BLUESOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON ACON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLADDING
- WB - HARDIES NEWPORT

**ISSUE**

#	DATE	DETAILS	BY
A	01.07.19	LIVING CHANGE	PW
B	02.07.19	HIP ROOF	PKJ
C	10.07.19	WIN & CLADDING	PW
D	07.08.19	Changes	MK
E	11.10.19	Changes	MK
F	27.03.20	STAGE 2	MK
G	07.07.20	METERBOX	MK



po box 6384 p (07) 5442 6413  
maroochydoore t (07) 5450 6437  
6414558 QBCC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:



SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

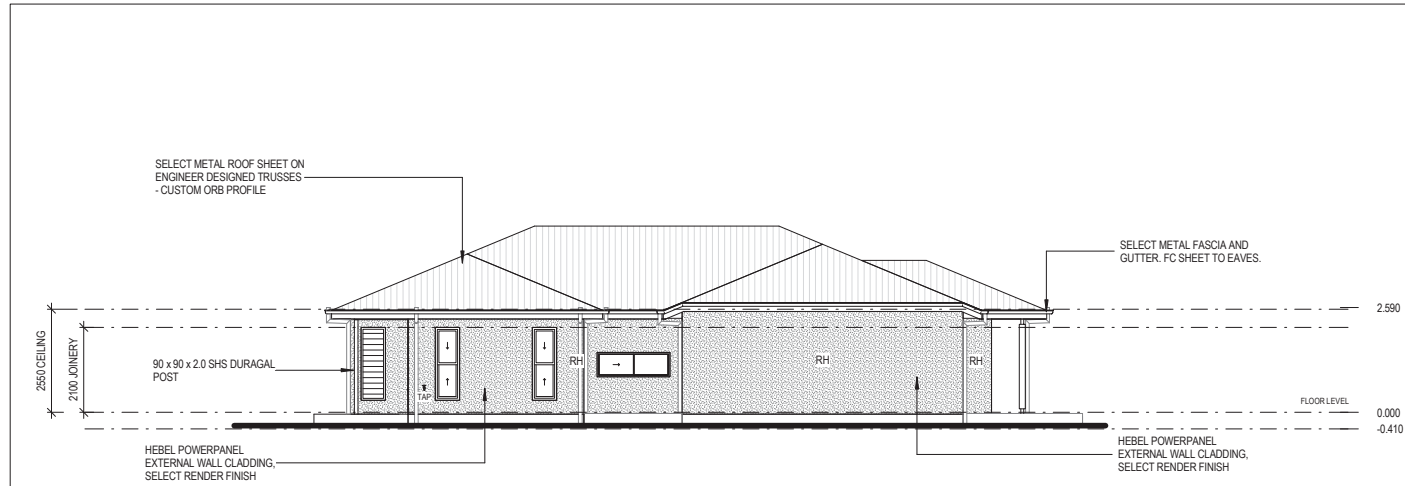
DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 3 OF 17

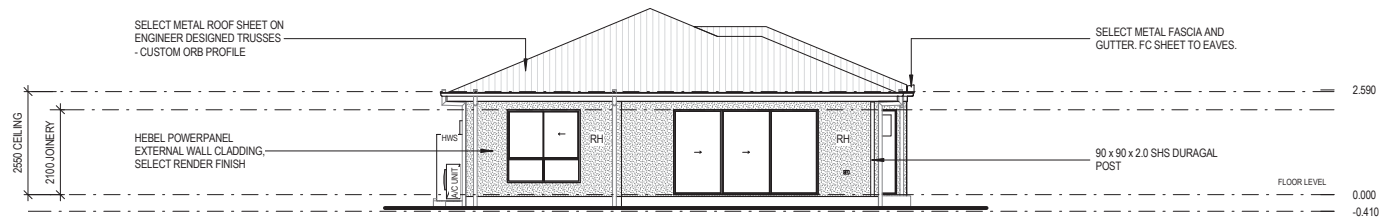
HEADINGLY 2

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



LEFT ELEVATION

1 : 100



REAR ELEVATION

1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBU - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBB - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON ASON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLASSING
- WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	01.07.19	LIVING CHANGE	PW
B	02.07.19	HIP ROOF	PKJ
C	10.07.19	WIN & CLADDING	PW
D	07.08.19	Changes	MK
E	11.10.19	Changes	MK
F	27.03.20	STAGE 2	MK
G	07.07.20	METERBOX	MK



po box 6384 p (07) 5442 6413  
maroochydrive t (07) 5450 6437  
641 6558 QBCB 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS

PROJECT DESCRIPTION:  
Proposed Relocatable  
Dwelling For:



SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE  
1 : 100

JOB CODE  
C-ASM

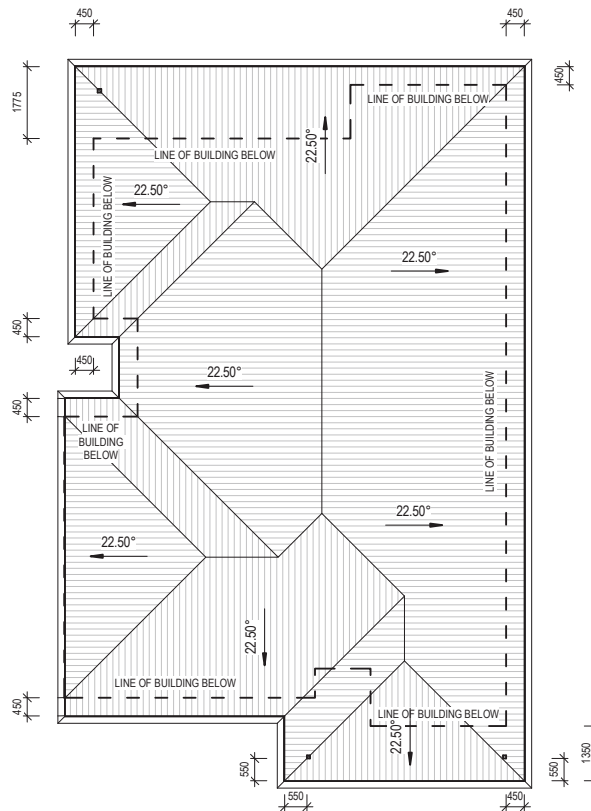
SHEET 4 OF 17

HEADINGLY 2

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

ROOF PLAN

- (i) EXHAUST FROM BATHROOMS, KITCHENS, SANITARY COMPARTMENTS AND LAUNDRIES MUST BE MECHANICALLY DISCHARGED DIRECTLY TO OUTDOOR AIR DUCTED OR SIMILAR, AND COMPLY WITH NCC PART 3.8
- (ii) SOLAR PV SYSTEM TO BE LOCATED ONSITE. (DRAWN LOCATION IS APPROX ONLY), SKYLIGHTS TO BE FLASHED TO RIDGE.



ROOF PLAN

1 : 100

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBD - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBB - RENDERED BLUEBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON ASON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	01.07.19	LIVING CHANGE	PW
B	02.07.19	HIP ROOF	PAJ
C	10.07.19	WIN & CLADDING	PW
D	07.08.19	Changes	MK
E	11.10.19	Changes	MK
F	27.03.20	STAGE 2	MK
G	07.07.20	METERBOX	MK



po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
q44 6568 qbcc 103000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ROOF PLAN

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY Designer

DRAWN BY Author

SCALE  
1 : 100

JOB CODE  
C-ASM

SHEET 5 OF 17

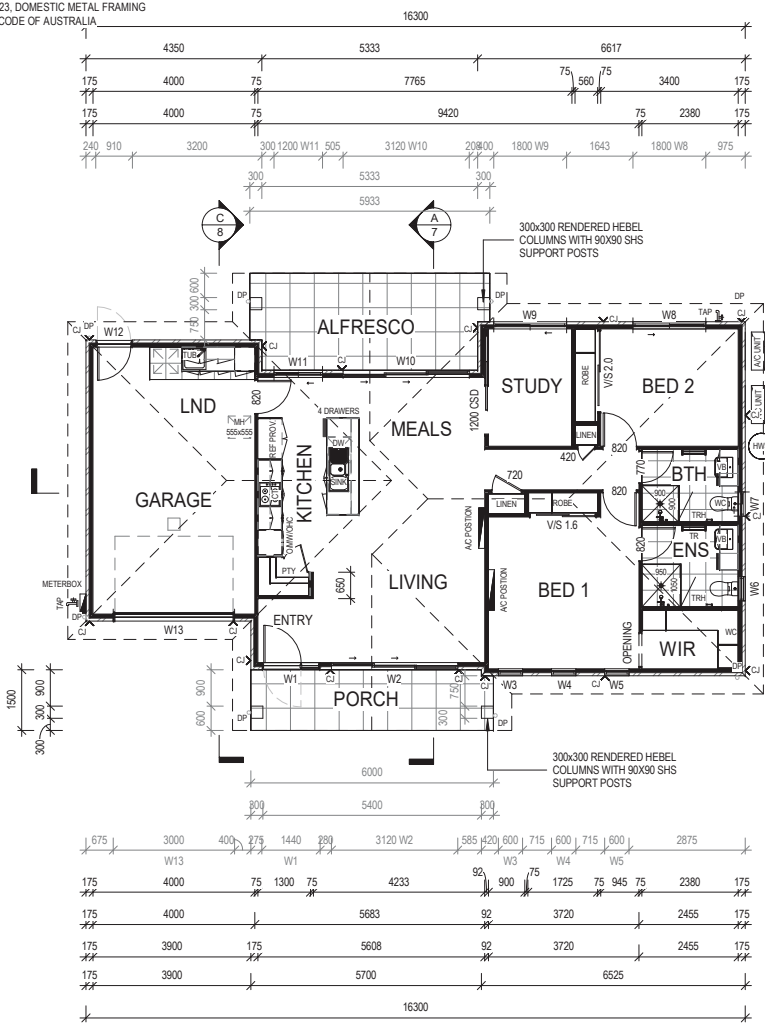
HEADINGLY 2



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

NO.	SIZE
W1	920(400 SIDELITE)
W2	ASD2131-3
W3	1806DH
W4	1806DH
W5	1806DH
W6	0906DH
W7	0906SW
W8	1818SW
W9	1218SW
W10	ASD2131-3
W11	1812SW
W12	820 1/3 GLASS
W13	2130PLD

DESIGN IN ACCORDANCE WITH AS 3623, DOMESTIC METAL FRAMING CLASSIFICATION AND THE BUILDING CODE OF AUSTRALIA



**FLOOR PLAN**  
1 : 100

NOTE : PROVIDE LIFT OFF HINGES TO W.C. DOORS  
 ☉ : SMOKE ALARMS TO BE HARD WIRED IN ACCORDANCE WITH B.C.A. 3.7.2.  
 : REFER ELECTRICAL PLAN FOR PLACEMENT.  
 FLOOR WASTE POSITIONS ARE INDICATIVE  
 ONLY. FINAL POSITIONS TO BE DETERMINED BY LOCAL AUTHORITY PLUMBING REGULATIONS.

**NOTE:**  
STEEL FRAME WALLS AND TRUSSES IN ACCORDANCE WITH MANUFACTURERS DESIGN AND SPECIFICATION.  
  
DESIGN AND ENGINEERING TO BE PROVIDED TO CERTIFIER PRIOR TO FRAME INSTALL.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBU - CUPBOARD
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWSS - HOT WATER SYSTEM
- L - LINEN
- MH - MASH HOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RIB - RENDERED BLUEBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON ACON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

**FLOOR AREAS**

Living Area	98.77 m <sup>2</sup>
Garage	29.13 m <sup>2</sup>
Alfresco	13.67 m <sup>2</sup>
Patio	8.96 m <sup>2</sup>
Grand total	150.52 m <sup>2</sup>

**ISSUE**

#	DATE	DETAILS	BY
A	03.04.20	WD ISSUE	MK
B	08.04.20	SITE BOUNDARY	MK
C	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qst 4568 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**FLOOR PLAN**

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1:100 JOB CODE  
**C-ASM**

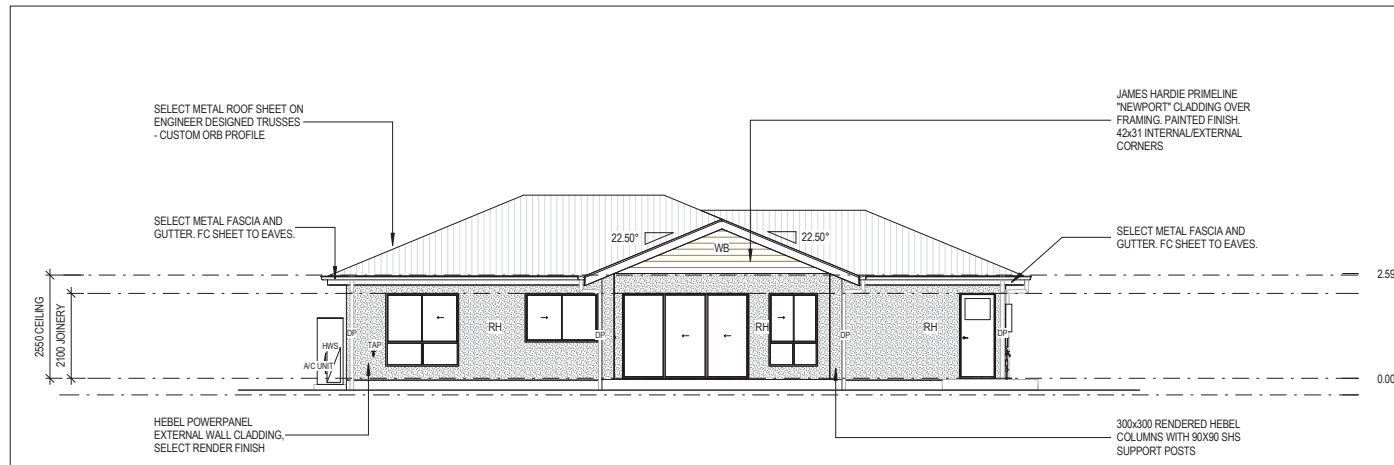
SHEET 2 OF 19

**MARION 1.5**



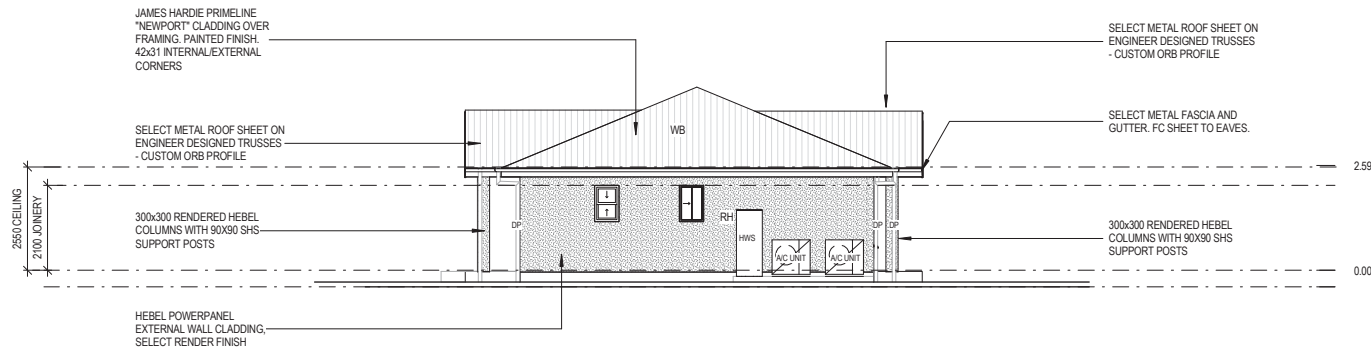


ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



REAR ELEVATION

1 : 100



RIGHT ELEVATION

1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOWEL ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RSB - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA CLADDING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	03.04.20	WD ISSUE	MK
B	08.04.20	SITE BOUNDARY	MK
C	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6414 6558 QBC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:  
**affinity**

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE  
1 : 100

JOB CODE  
**C-ASM**

SHEET 4 OF 19

**MARION 1.5**



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**GENERAL NOTES**

- ALL MATERIALS SHALL BE NEW.
- FOOTINGS TO ENGINEER DETAILS. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SLAB: TO ENGINEER DETAILS UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TERRITE CONTROL AS PER BUILDERS SPECIFICATIONS.
- STUD FRAMING: ALL FIXINGS AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS: AS PER BUILDERS SPECIFICATIONS.
- ROOFING: COLORBOND METAL SHEET ROOFING OR CONCRETE ROOF TILES OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- PLUMBER AND DRAINER: TO LOCAL AUTHORITY REGULATIONS.
- ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS.
- ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

**BUSHFIRE REQUIREMENTS - BAL12.5**

DESIGN IN ACCORDANCE WITH AS 3959-2018 REFER SECTION 3 & 5 FOR DETAILED REQUIREMENTS

**WATER & GAS SUPPLY**  
(i) ALL EXPOSED WATER AND GAS SUPPLY LINES TO BE METAL.

**OPENINGS**  
(i) DOOR/WINDOWS TO BE SCREENED. MAX APERTURE SIZE 2mm  
(ii) VENTS/WEEPHOLES TO BE MESH COVERED TO MEET BAL REQUIREMENTS. MAX APERTURE 2mm  
(iii) DOOR/WINDOW FRAMES TO BE MADE OF FIRE-RESISTANT TIMBER  
(iv) GARAGE DOOR TO BE FITTED WITH NON-COMBUSTIBLE WEATHERSTRIP WITH MAX 3mm GAPS  
(v) ALL GLAZING TO COMPLY WITH REQUIREMENTS

**ROOFING**  
(i) SKYLIGHTS TO BE MADE FROM A NON-COMBUSTIBLE MATERIAL  
(ii) ANY ATTACHED ITEM ON ROOF (ie ANTENNA) ARE TO BE ADEQUATELY SEALED TO THE ROOF TO PREVENT GAPS >3mm AND BE MADE FROM A NON-COMBUSTIBLE MATERIAL  
(iii) VENTILATION OPENINGS SHALL BE FITTED WITH EMBER-GUARDS BE MADE FROM A NON-COMBUSTIBLE MATERIAL AND HAVE A MAX APERTURE SIZE OF 2mm  
(iv) SARKING/ANTICON MUST HAVE A FLAME-INDEX GREATER THAN 5.  
(v) SARKING TO COVER ENTIRE ROOF AREA TO EDGE OF FASCIA.

**NOTES:**  
- YARD PIT LOCATION TO BE DETERMINED ONSITE (SHOWN APPROX ON PLANS).  
- ROOFWATER DISCHARGE TO: Kerb & Channel  
•Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties  
•Stormwater system to comply with AS3500 Part 3

WIND CATEGORY - N2

**SITE PLAN**  
1 : 100

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBP - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- CHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBB - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON ACON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

**PROPERTY DESCRIPTION**  
LOT 22 SP 220446  
LOCAL COUNCIL - MORETON BAY REGIONAL COUNCIL  
AREA :

ISSUE	#	DATE	DETAILS	BY
A	03.04.20	WD ISSUE		MK
B	08.04.20	SITE BOUNDARY		MK
C	07.07.20	METERBOX		MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qst 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**SITE PLAN**

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:  
**affinity**

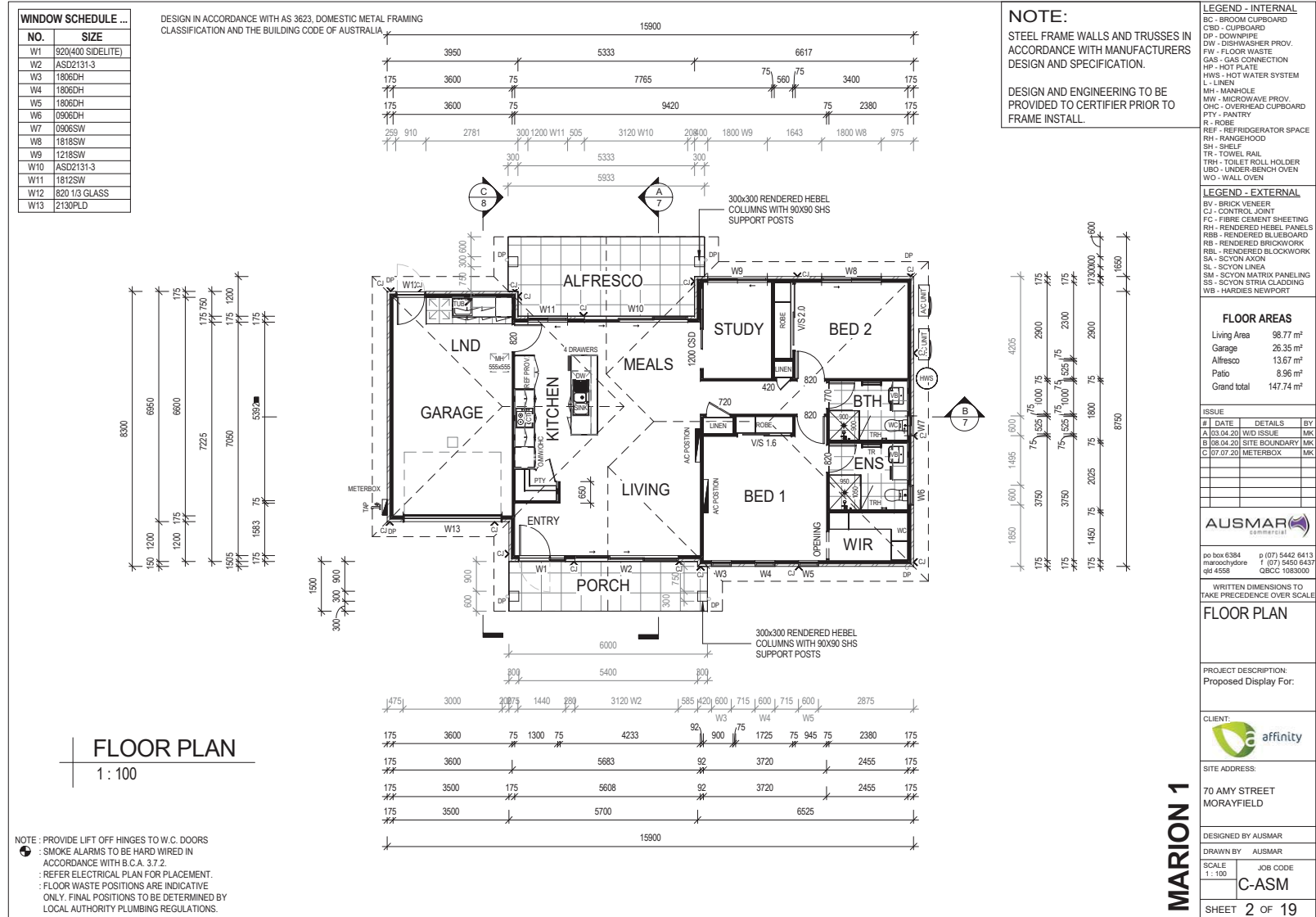
SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1:100	JOB CODE C-ASM
----------------	-------------------

SHEET 1 OF 19

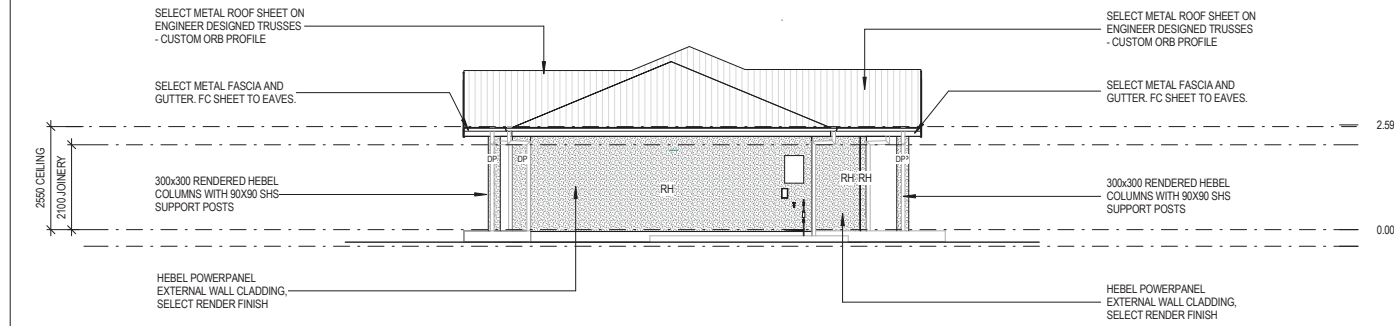
ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**FRONT ELEVATION**  
1 : 100



**LEFT ELEVATION**  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOWEL ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON ACON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLADDING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	03.04.20	W/D ISSUE	MK
B	08.04.20	SITE BOUNDARY	MK
C	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6414 6568 QBC6 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Display For:



SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

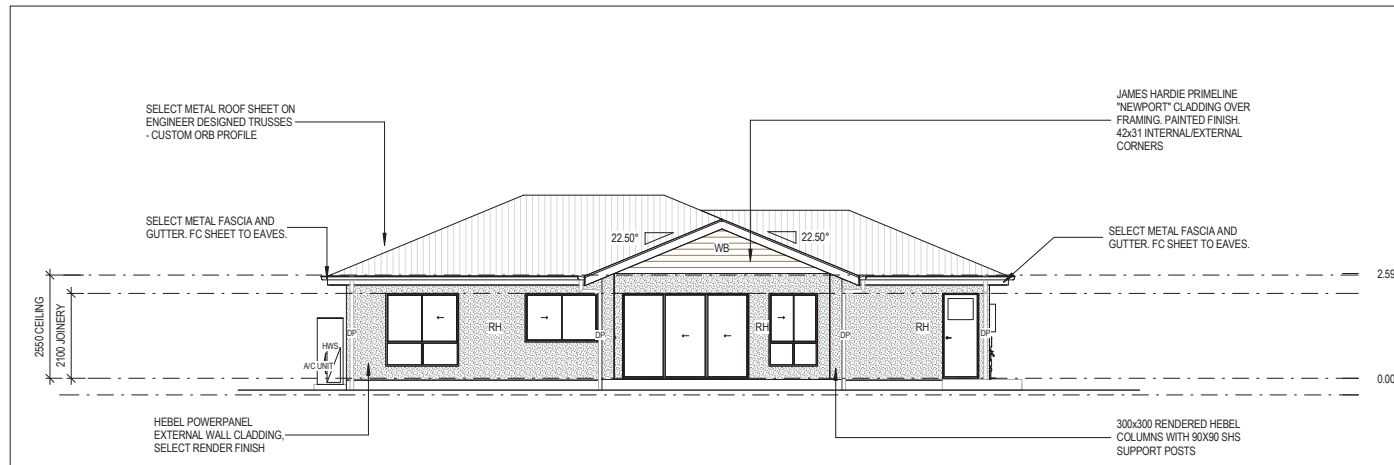
SCALE  
1 : 100

JOB CODE  
C-ASM

SHEET 3 OF 19

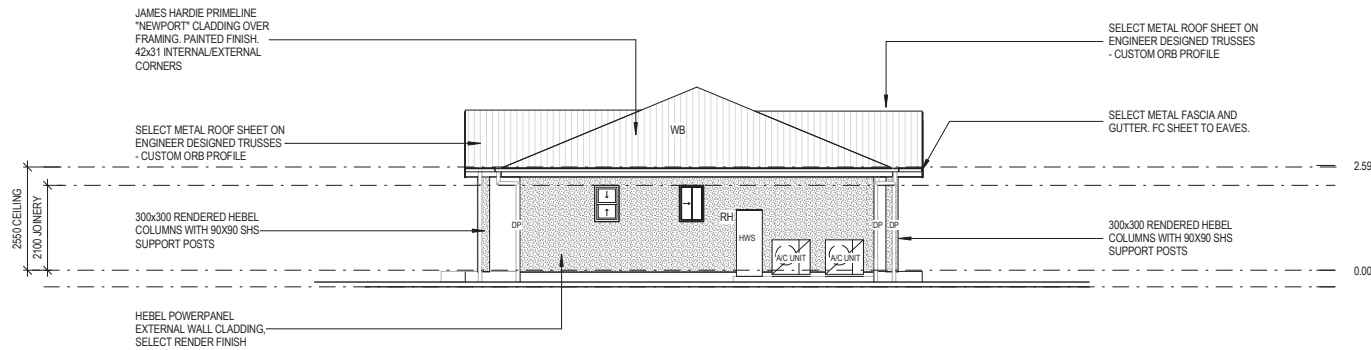
**MARION 1**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



REAR ELEVATION

1 : 100



RIGHT ELEVATION

1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA CLADDING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	03.04.20	WD ISSUE	MK
B	08.04.20	SITE BOUNDARY	MK
C	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6416 6558 QBC12 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 4 OF 19

**MARION 1**



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**ROOF PLAN**

(i) EXHAUST FROM BATHROOMS, KITCHENS, SANITARY COMPARTMENTS AND LAUNDRIES MUST BE MECHANICALLY DISCHARGED DIRECTLY TO OUTDOOR AIR DUCTED OR SIMILAR, AND COMPLY WITH NCC PART 3.8

(ii) SOLAR PV SYSTEM TO BE LOCATED ONSITE (DRAWN LOCATION IS APPROX ONLY),

(iii) SKYLIGHTS TO BE FLASHED TO RIDGE.

**LEGEND - INTERNAL**

BC - BROOM CUPBOARD  
 CBD - CUPBOARD  
 DP - DOWNPIPE  
 DW - DISHWASHER PROV.  
 FW - FLOOR WASTE  
 GAS - GAS CONNECTION  
 HP - HOT PLATE  
 HWS - HOT WATER SYSTEM  
 L - LINEN  
 MH - MANHOLE  
 MW - MICROWAVE PROV.  
 OHC - OVERHEAD CUPBOARD  
 PTY - PANTRY  
 R - ROBE  
 REF - REFRIGERATOR SPACE  
 RH - RANGEHOOD  
 SH - SHELF  
 TR - TOWEL RAIL  
 TRH - TOILET ROLL HOLDER  
 USB - UNDER-BENCH OVEN  
 WO - WALL OVEN

**LEGEND - EXTERNAL**

BV - BRICK VENEER  
 CJ - CONTROL JOINT  
 FC - FIBRE CEMENT SHEETING  
 RH - RENDERED HEBEL PANELS  
 RIB - RENDERED BLUEBOARD  
 RB - RENDERED BRICKWORK  
 RBL - RENDERED BLOCKWORK  
 SA - SCYON AXON  
 SL - SCYON LINEA  
 SM - SCYON MATRIX PANELING  
 SS - SCYON STRIA GLAZING  
 WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	03.04.20	WD ISSUE	MK
B	08.04.20	SITE BOUNDARY	MK
C	07.07.20	METERBOX	MK

**AUSMAR**  
ARCHITECTS

po box 6384 p (07) 5442 6413  
 maroochydore t (07) 5450 6437  
 684 4568 QBCB 1093000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ROOF PLAN**

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1:100	JOB CODE C-ASM
----------------	-------------------

SHEET 5 OF 19

**ROOF PLAN**  
1:100

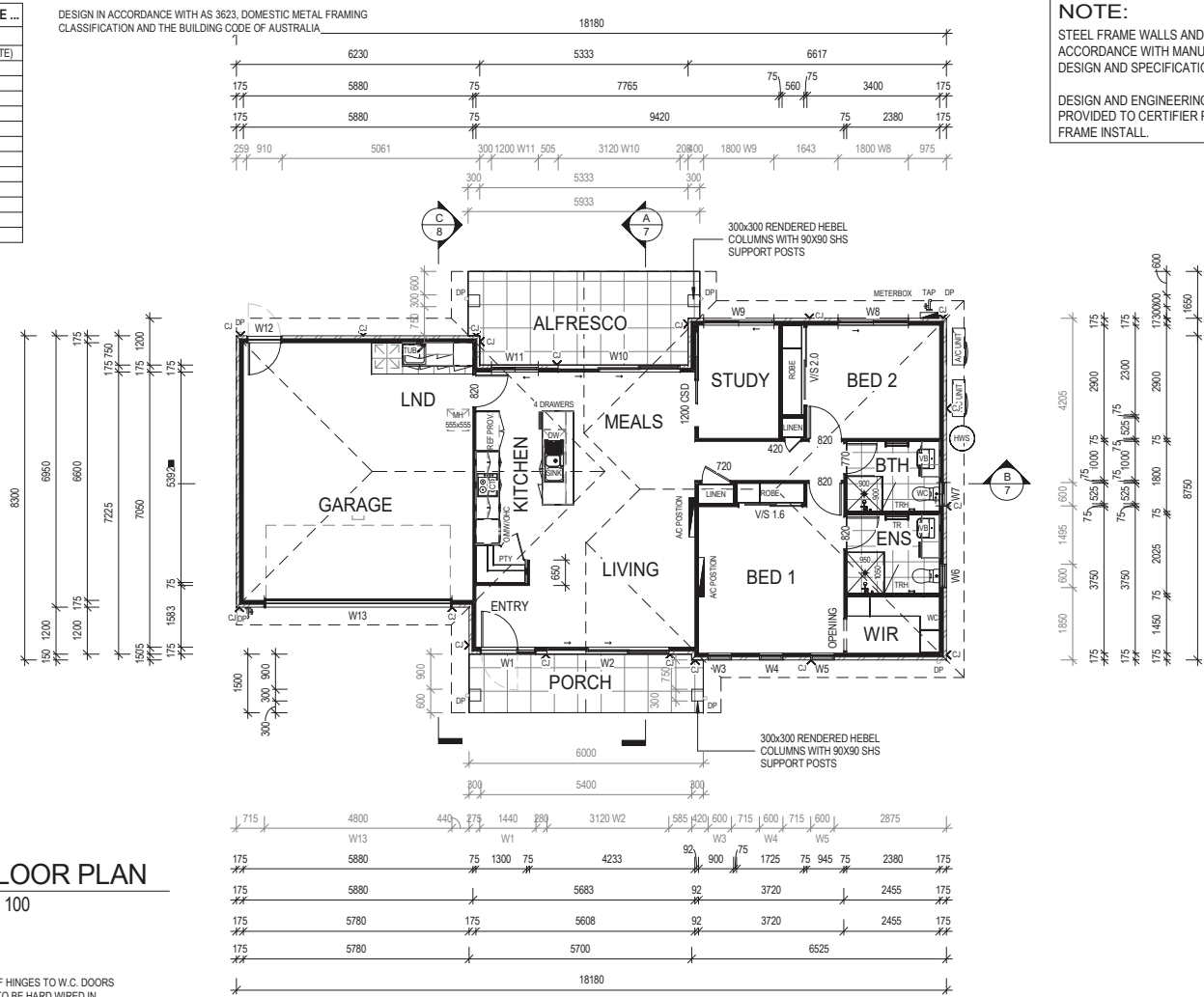
**MARION 1**



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

NO.	SIZE
W1	920(400 SIDELITE)
W2	ASD2131-3
W3	1806DH
W4	1806DH
W5	1806DH
W6	0906DH
W7	0906SW
W8	1818SW
W9	1218SW
W10	ASD2131-3
W11	1812SW
W12	820 1/3 GLASS
W13	2148PLD

DESIGN IN ACCORDANCE WITH AS 3623, DOMESTIC METAL FRAMING CLASSIFICATION AND THE BUILDING CODE OF AUSTRALIA



**FLOOR PLAN**  
1 : 100

NOTE : PROVIDE LIFT OFF HINGES TO W.C. DOORS  
 ☉ : SMOKE ALARMS TO BE HARD WIRED IN ACCORDANCE WITH B.C.A. 3.7.2.  
 : REFER ELECTRICAL PLAN FOR PLACEMENT.  
 FLOOR WASTE POSITIONS ARE INDICATIVE  
 ONLY. FINAL POSITIONS TO BE DETERMINED BY LOCAL AUTHORITY PLUMBING REGULATIONS.

**NOTE:**  
STEEL FRAME WALLS AND TRUSSES IN ACCORDANCE WITH MANUFACTURERS DESIGN AND SPECIFICATION.  
  
DESIGN AND ENGINEERING TO BE PROVIDED TO CERTIFIER PRIOR TO FRAME INSTALL.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBU - CUPBOARD
- CP - CUPBOARD
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWSS - HOT WATER SYSTEM
- L - LINEN
- MH - MASH/OLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RIB - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON ACON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

**FLOOR AREAS**

Living Area	98.77 m <sup>2</sup>
Garage	42.20 m <sup>2</sup>
Alfresco	13.67 m <sup>2</sup>
Patio	8.96 m <sup>2</sup>
Grand total	163.59 m <sup>2</sup>

**ISSUE**

#	DATE	DETAILS	BY
A	03.04.20	W/D ISSUE	MK
B	08.04.20	SITE BOUNDARY	MK
C	03.06.20	PLAN CHANGE	MK
D	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**FLOOR PLAN**

PROJECT DESCRIPTION:  
Proposed Display For:



SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

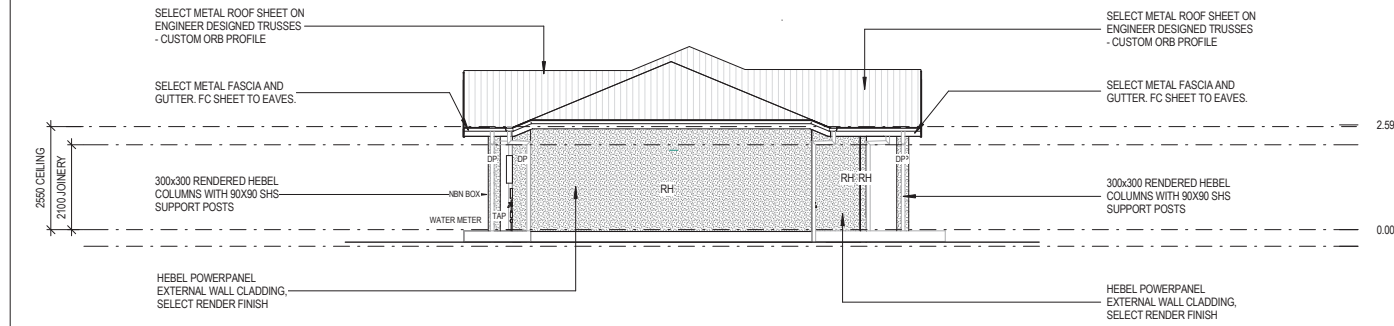
SHEET 2 OF 19

**MARION 2**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME  
PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736,  
LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**FRONT ELEVATION**  
1 : 100



**LEFT ELEVATION**  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA CLADDING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	03.04.20	W/D ISSUE	MK
B	08.04.20	SITE BOUNDARY	MK
C	03.06.20	PLAN CHANGE	MK
D	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6464 6568 QBC6 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Display For:



SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

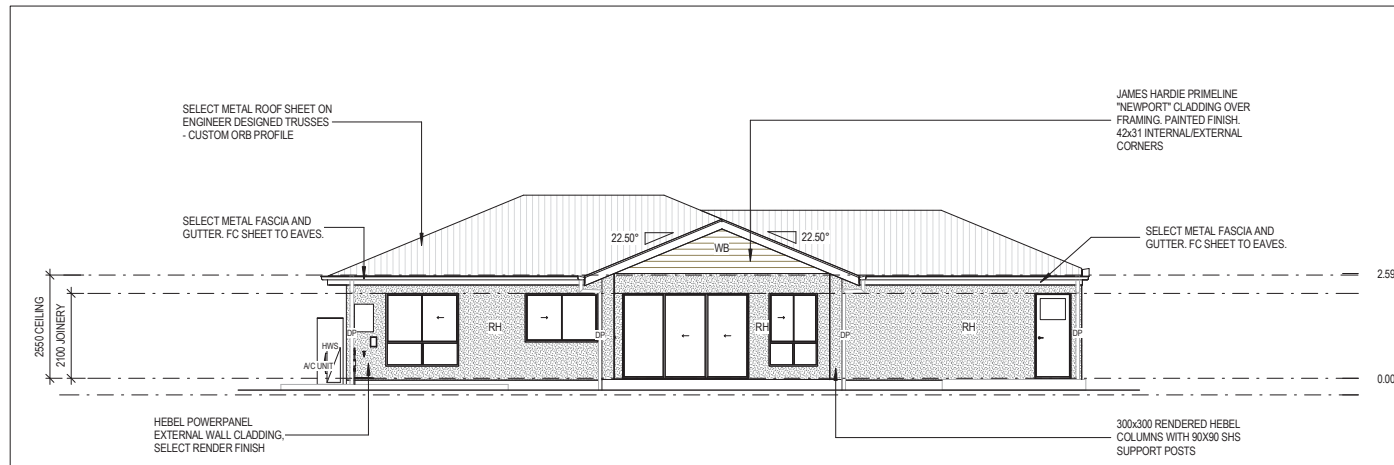
SCALE  
1:100

JOB CODE  
C-ASM

SHEET 3 OF 19

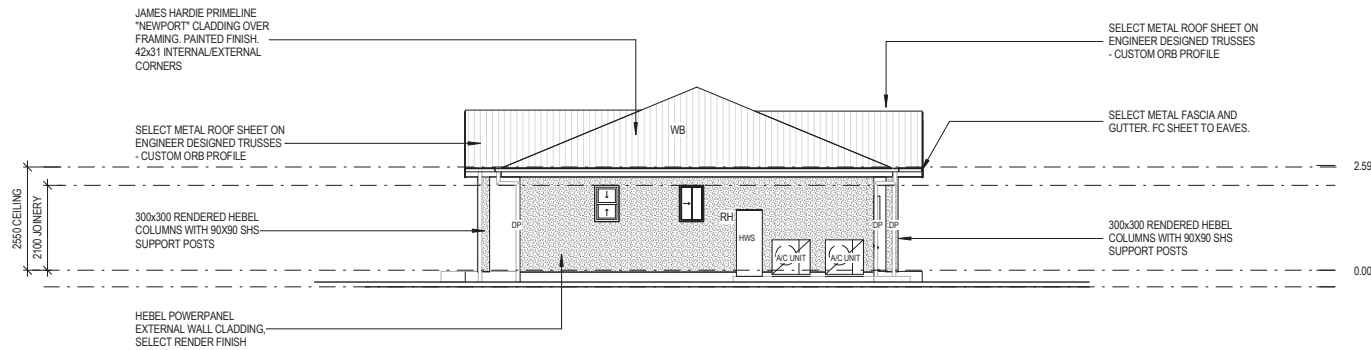
**MARION 2**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



REAR ELEVATION

1 : 100



RIGHT ELEVATION

1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBU - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RBS - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON AXON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	03.04.20	W/D ISSUE	MK
B	08.04.20	SITE BOUNDARY	MK
C	03.06.20	PLAN CHANGE	MK
D	07.07.20	METERBOX	MK



po box 6384 p (07) 5442 6413  
maroochydrone t (07) 5450 6437  
641 6558 QBCC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

ELEVATIONS

PROJECT DESCRIPTION:  
Proposed Display For:



SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 4 OF 19

MARION 2

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**ROOF PLAN**

(i) EXHAUST FROM BATHROOMS, KITCHENS, SANITARY COMPARTMENTS AND LAUNDRIES MUST BE MECHANICALLY DISCHARGED DIRECTLY TO OUTDOOR AIR DUCTED OR SIMILAR, AND COMPLY WITH NCC PART 3.8

(ii) SOLAR PV SYSTEM TO BE LOCATED ONSITE (DRAWN LOCATION IS APPROX ONLY),

(iii) SKYLIGHTS TO BE FLASHED TO RIDGE.

**LEGEND - INTERNAL**

BC - BROOM CUPBOARD  
CBP - CUPBOARD  
DP - DOWNPIPE  
DW - DISHWASHER PROV.  
FW - FLOOR WASTE  
GAS - GAS CONNECTION  
HP - HOT PLATE  
HWS - HOT WATER SYSTEM  
L - LINEN  
MH - MANHOLE  
MW - MICROWAVE PROV.  
OHC - OVERHEAD CUPBOARD  
PTY - PANTRY  
R - ROBE  
REF - REFRIGERATOR SPACE  
RH - RANGEHOOD  
SH - SHELF  
TR - TOWEL RAIL  
TRH - TOILET ROLL HOLDER  
UBO - UNDER-BENCH OVEN  
WO - WALL OVEN

**LEGEND - EXTERNAL**

BV - BRICK VENEER  
CJ - CONTROL JOINT  
FC - FIBRE CEMENT SHEETING  
RH - RENDERED HEBEL PANELS  
RBB - RENDERED BLUEBOARD  
RB - RENDERED BRICKWORK  
RBL - RENDERED BLOCKWORK  
SA - SCYON AXON  
SL - SCYON LINEA  
SM - SCYON MATRIX PANELING  
SS - SCYON STRIA GLAZING  
WB - HARDIES NEWPORT

ISSUE	#	DATE	DETAILS	BY
	A	03.04.20	WD ISSUE	MK
	B	08.04.20	SITE SCHEDULE	MK
	C	03.06.20	PLAN CHANGE	MK
	D	07.07.20	METERBOX	MK

**AUSMAR**  
ENGINEERING

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
684 4558 QBC 1093000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ROOF PLAN**

PROJECT DESCRIPTION:  
Proposed Display For:

CLIENT:  
 affinity

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1:100	JOB CODE C-ASM
----------------	-------------------

SHEET 5 OF 19

**MARION 2**



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**GENERAL NOTES**

- ALL MATERIALS SHALL BE NEW.
- FOOTINGS TO ENGINEER DETAILS. FOOTINGS TO HAVE SOLID BOTTOMS AND EVEN BEARING THROUGHOUT.
- SLAB TO ENGINEER DETAILS. UNDERLAY WITH 200mm POLYTHENE WATERPROOF MEMBRANE AND ALL PROTRUSIONS CAST ON 50mm SAND BEDDING ON APPROVED FILL. CONCRETE STRENGTH TO BE 20MPa AT 28 DAYS. USE TERRAZO CONTROL AS PER BUILDERS SPECIFICATIONS.
- STUD FRAMING: ALL FIXINGS AS PER CONNECTION DETAILS AND GOOD WORKMANSHIP.
- LININGS: AS PER BUILDERS SPECIFICATIONS.
- ROOFING: COLORBOND METAL SHEET ROOFING OR CONCRETE ROOF TILES OVER AN APPROVED SARKING MATERIAL AND FIXED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
- PLUMBER AND DRAINER: TO LOCAL AUTHORITY REGULATIONS.
- ELECTRICIAN: TO LOCAL AUTHORITY REGULATIONS.
- ALL WET AREA FLOOR AND SHOWER FLOORS TO COMPLY WITH B.C.A. SECTION 3.8.1.

NOTE: BUILDER TO CHECK AND CONFIRM ALL MEASUREMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DO NOT SCALE DRAWINGS. WRITTEN DIMENSIONS TAKE PRECEDENCE AT ALL TIMES. STORMWATER THROUGH P.V.C. PIPE TO LOCAL COUNCIL REGULATIONS.

**BUSHFIRE REQUIREMENTS - BAL 12.5**

DESIGN IN ACCORDANCE WITH AS 3959-2018 REFER SECTION 3 & 5 FOR DETAILED REQUIREMENTS

**WATER & GAS SUPPLY**

(i) ALL EXPOSED WATER AND GAS SUPPLY LINES TO BE METAL.

**OPENINGS**

(i) DOOR/WINDOWS TO BE SCREENED. MAX APERTURE SIZE 2mm

(ii) VENTS/WEEPHOLES TO BE MESH COVERED TO MEET BAL REQUIREMENTS. MAX APERTURE 2mm

(iii) DOOR/WINDOW FRAMES TO BE MADE OF FIRE-RESISTANT TIMBER

(iv) GARAGE DOOR TO BE FITTED WITH NON-COMBUSTIBLE WEATHERSTRIP WITH MAX 3mm GAPS

(v) ALL GLAZING TO COMPLY WITH REQUIREMENTS

**ROOFING**

(i) SKYLIGHTS TO BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(ii) ANY ATTACHED ITEM ON ROOF (ie ANTENNA) ARE TO BE ADEQUATELY SEALED TO THE ROOF TO PREVENT GAPS >3mm AND BE MADE FROM A NON-COMBUSTIBLE MATERIAL

(iii) VENTILATION OPENINGS SHALL BE FITTED WITH EMBER-GUARDS BE MADE FROM A NON-COMBUSTIBLE MATERIAL AND HAVE A MAX APERTURE SIZE OF 2mm

(iv) SARKING/ANTICON MUST HAVE A FLAME-INDEX GREATER THAN 5.

(v) SARKING TO COVER ENTIRE ROOF AREA TO EDGE OF FASCIA.

**NOTES:**

- YARD PIT LOCATION TO BE DETERMINED ONSITE (SHOWN APPROX ON PLANS).
- ROOFWATER DISCHARGE TO: Kerb & Channel
- Stormwater to be discharged so as to not cause erosion or nuisance to adjoining properties
- Stormwater system to comply with AS3500 Part 3

WIND CATEGORY - N2

**SITE PLAN**  
1 : 100

**LEGEND - INTERNAL**

BC - BROOM CUPBOARD  
 CBD - CUPBOARD  
 DP - DOWNPIPE  
 DW - DISHWASHER PROV.  
 FW - FLOOR WASTE  
 GAS - GAS CONNECTION  
 HP - HOT PLATE  
 HWS - HOT WATER SYSTEM  
 L - LINEN  
 MH - MANHOLE  
 MW - MICROWAVE PROV.  
 OHC - OVERHEAD CUPBOARD  
 PTY - PANTRY  
 R - ROBE  
 REF - REFRIGERATOR SPACE  
 RH - RANGEHOOD  
 SH - SHELF  
 TR - TOWEL RAIL  
 TRH - TOILET ROLL HOLDER  
 UBQ - UNDER-BENCH OVEN  
 WO - WALL OVEN

**LEGEND - EXTERNAL**

BV - BRICK VENEER  
 CJ - CONTROL JOINT  
 FC - FIBRE CEMENT SHEETING  
 RH - RENDERED HEBEL PANELS  
 RBB - RENDERED BLUEBOARD  
 RB - RENDERED BRICKWORK  
 RBL - RENDERED BLOCKWORK  
 SA - SCYON AXON  
 SL - SCYON LINEA  
 SM - SCYON MATRIX PANELING  
 SS - SCYON STRIA GLAZING  
 WB - HARDIES NEWPORT

**PROPERTY DESCRIPTION**  
 LOT 22 SP 220446  
 LOCAL COUNCIL - MORETON BAY REGIONAL COUNCIL  
 AREA :

#	DATE	DETAILS	BY
A	-	SALES VO	MK
B	11.10.19	Changes	MK
C	27.03.20	STAGE 2	MK
D	25.05.20	BOUNDARY	MK
E	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTION

po box 6384 p (07) 5442 6413  
 maroochydore t (07) 5450 6437  
 qld 4558 qbcc 1030000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**SITE PLAN**

**PROJECT DESCRIPTION:**  
 Proposed Relocatable Dwelling For:

**CLIENT:**

**SITE ADDRESS:**  
 70 AMY STREET  
 MORAYFIELD

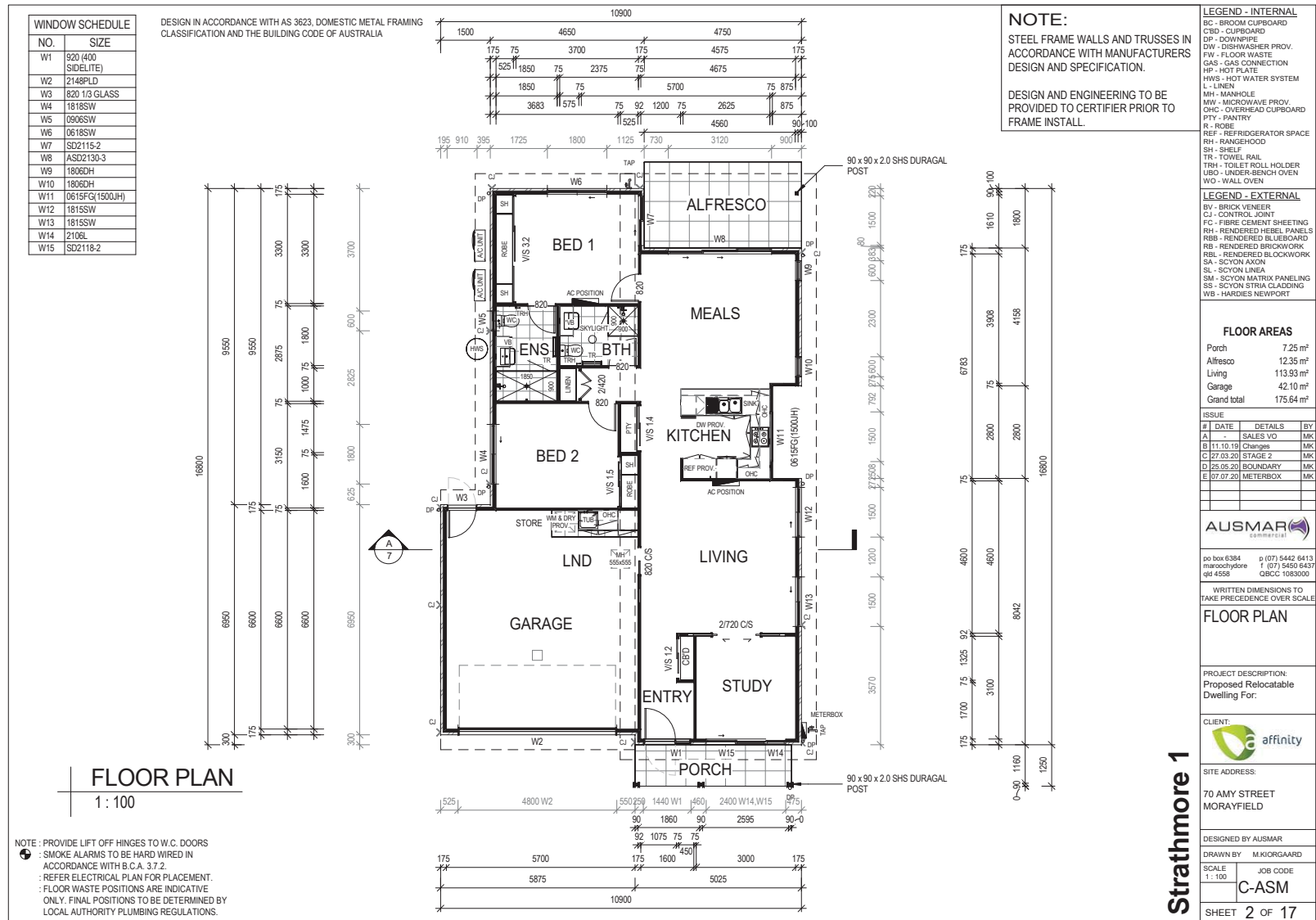
DESIGNED BY AUSMAR  
 DRAWN BY AUSMAR

SCALE 1 : 100	JOB CODE C-ASM
------------------	-------------------

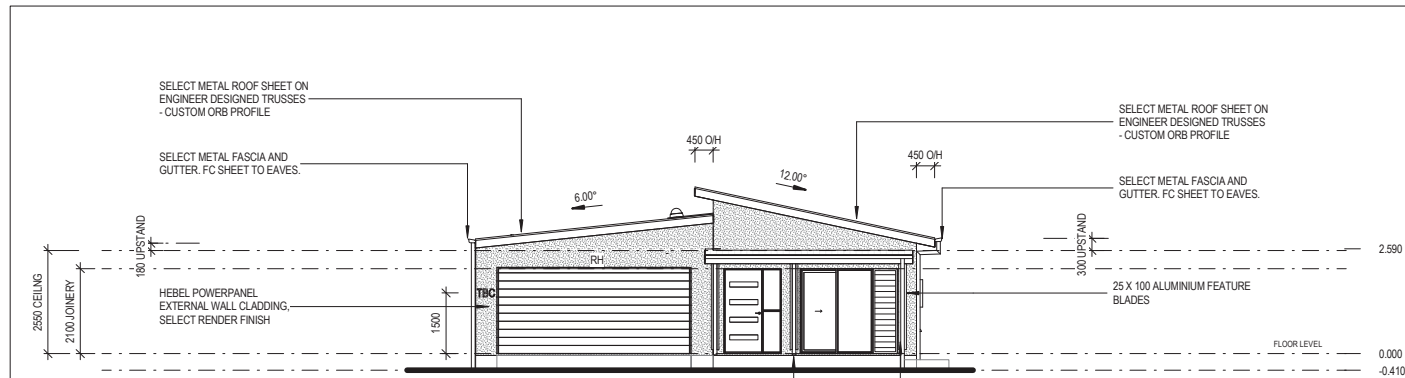
SHEET 1 OF 17

Strathmore 1

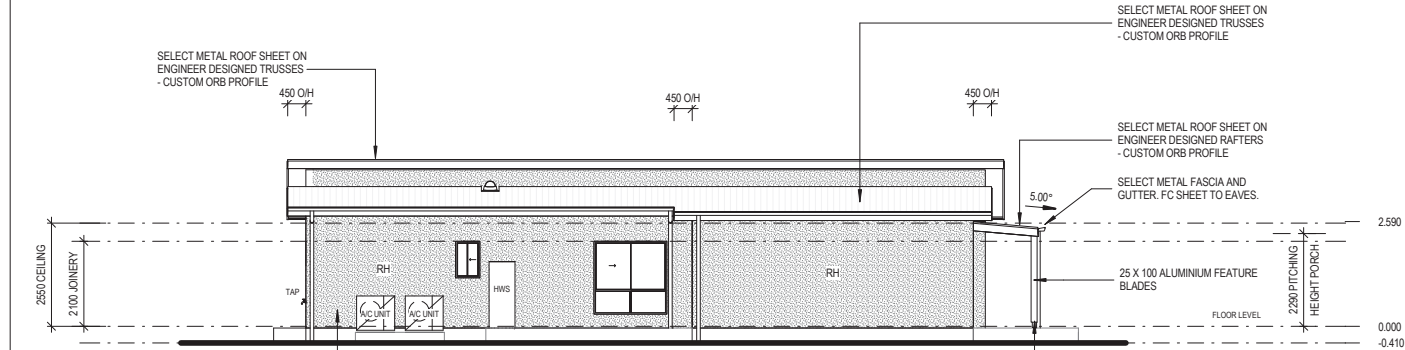
ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**FRONT ELEVATION**  
1 : 100



**LEFT ELEVATION**  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOWEL ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBS - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	-	SALES VO	MK
B	11.10.19	Changes	MK
C	27.03.20	STAGE 2	MK
D	25.05.20	BOUNDARY	MK
E	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6464568 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

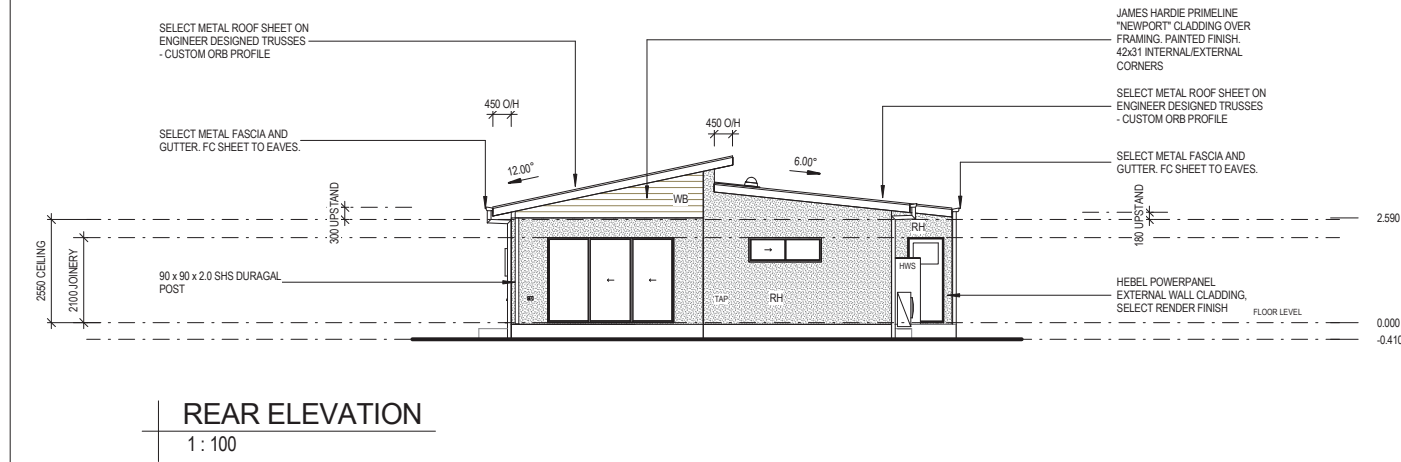
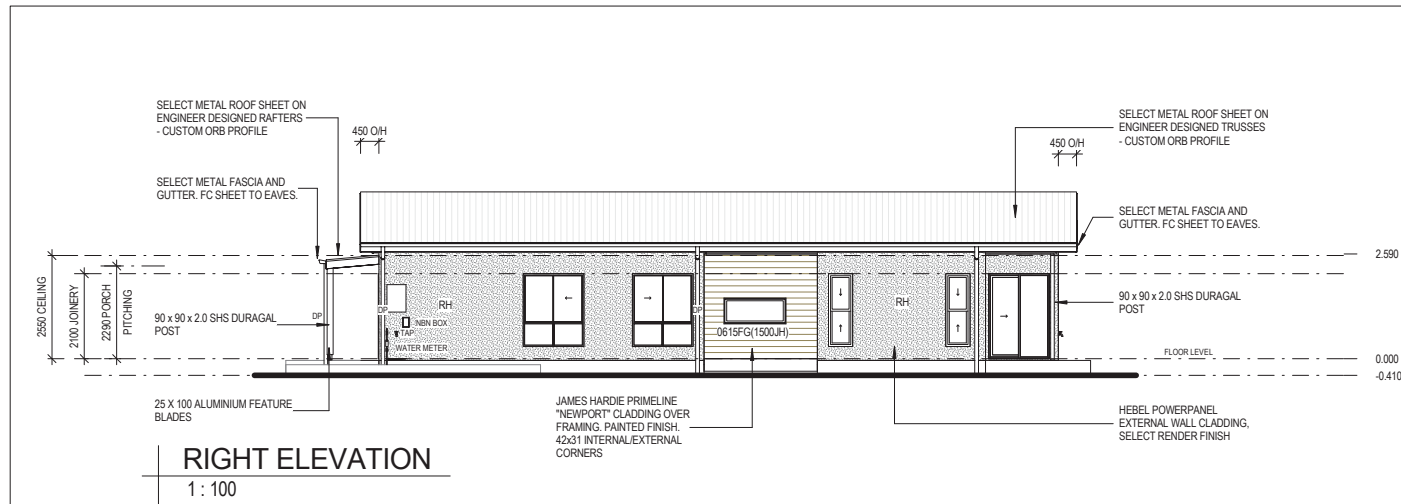
DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 3 OF 17

**Strathmore 1**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

**LEGEND - INTERNAL**

- BC - BROOM CUPBOARD
- CBD - CUPBOARD
- DP - DOWNPIPE
- DW - DISHWASHER PROV.
- FW - FLOOR WASTE
- GAS - GAS CONNECTION
- HP - HOT PLATE
- HWS - HOT WATER SYSTEM
- L - LINEN
- MH - MANHOLE
- MW - MICROWAVE PROV.
- OHC - OVERHEAD CUPBOARD
- PTY - PANTRY
- R - ROBE
- REF - REFRIGERATOR SPACE
- RH - RANGEHOOD
- SH - SHELF
- TR - TOWEL RAIL
- TRH - TOILET ROLL HOLDER
- UBO - UNDER-BENCH OVEN
- WO - WALL OVEN

**LEGEND - EXTERNAL**

- BV - BRICK VENEER
- CJ - CONTROL JOINT
- FC - FIBRE CEMENT SHEETING
- RH - RENDERED HEBEL PANELS
- RSB - RENDERED BLUESBOARD
- RB - RENDERED BRICKWORK
- RBL - RENDERED BLOCKWORK
- SA - SCYON ACON
- SL - SCYON LINEA
- SM - SCYON MATRIX PANELING
- SS - SCYON STRIA GLAZING
- WB - HARDIES NEWPORT

**ISSUE**

#	DATE	DETAILS	BY
A	-	SALES VO	MK
B	11.10.19	Changes	MK
C	27.03.20	STAGE 2	MK
D	25.05.20	BOUNDARY	MK
E	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6464 6568 QBCCC 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

NO.	DESCRIPTION	SCALE
1	FRONT ELEVATION	1:100
2	REAR ELEVATION	1:100
3	RIGHT ELEVATION	1:100
4	LEFT ELEVATION	1:100

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT: **affinity**

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR  
DRAWN BY AUSMAR

SCALE 1:100  
JOB CODE C-ASM

SHEET 4 OF 17

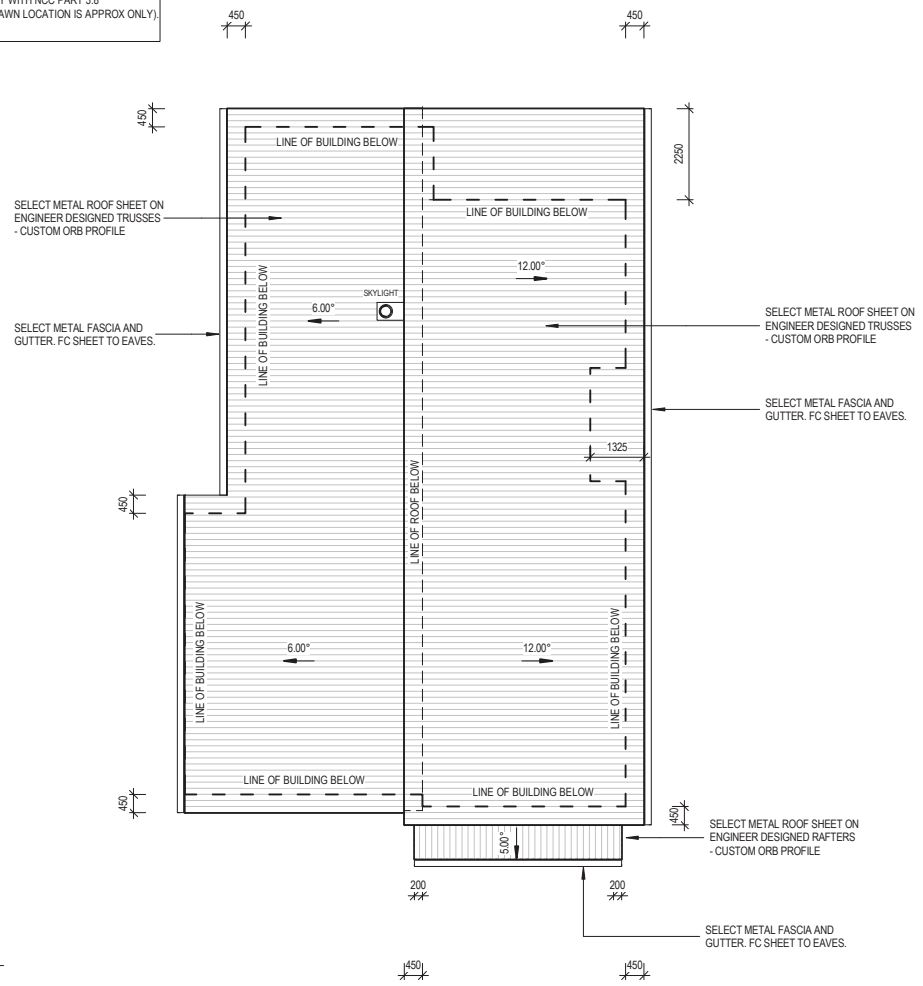
**Strathmore 1**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**ROOF PLAN**

(i) EXHAUST FROM BATHROOMS, KITCHENS, SANITARY COMPARTMENTS AND LAUNDRIES MUST BE MECHANICALLY DISCHARGED DIRECTLY TO OUTDOOR AIR DUCTED OR SIMILAR, AND COMPLY WITH NCC PART 3.8

(ii) SOLAR PV SYSTEM TO BE LOCATED ON SITE (DRAWN LOCATION IS APPROX ONLY), SKYLIGHTS TO BE FLASHED TO RIDGE.



**ROOF PLAN**  
1: 100

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWSS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RBB - RENDERED BLUEBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

ISSUE	#	DATE	DETAILS	BY
A	-	-	SALES VO	MK
B	11.10.19	Changes		MK
C	27.03.20	STAGE 2		MK
D	25.05.20	BOUNDARY		MK
E	07.07.20	METERBOX		MK

**AUSMAR**  
ENGINEERING

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
684 6568 QBC 103000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ROOF PLAN**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1: 100 JOB CODE C-ASM

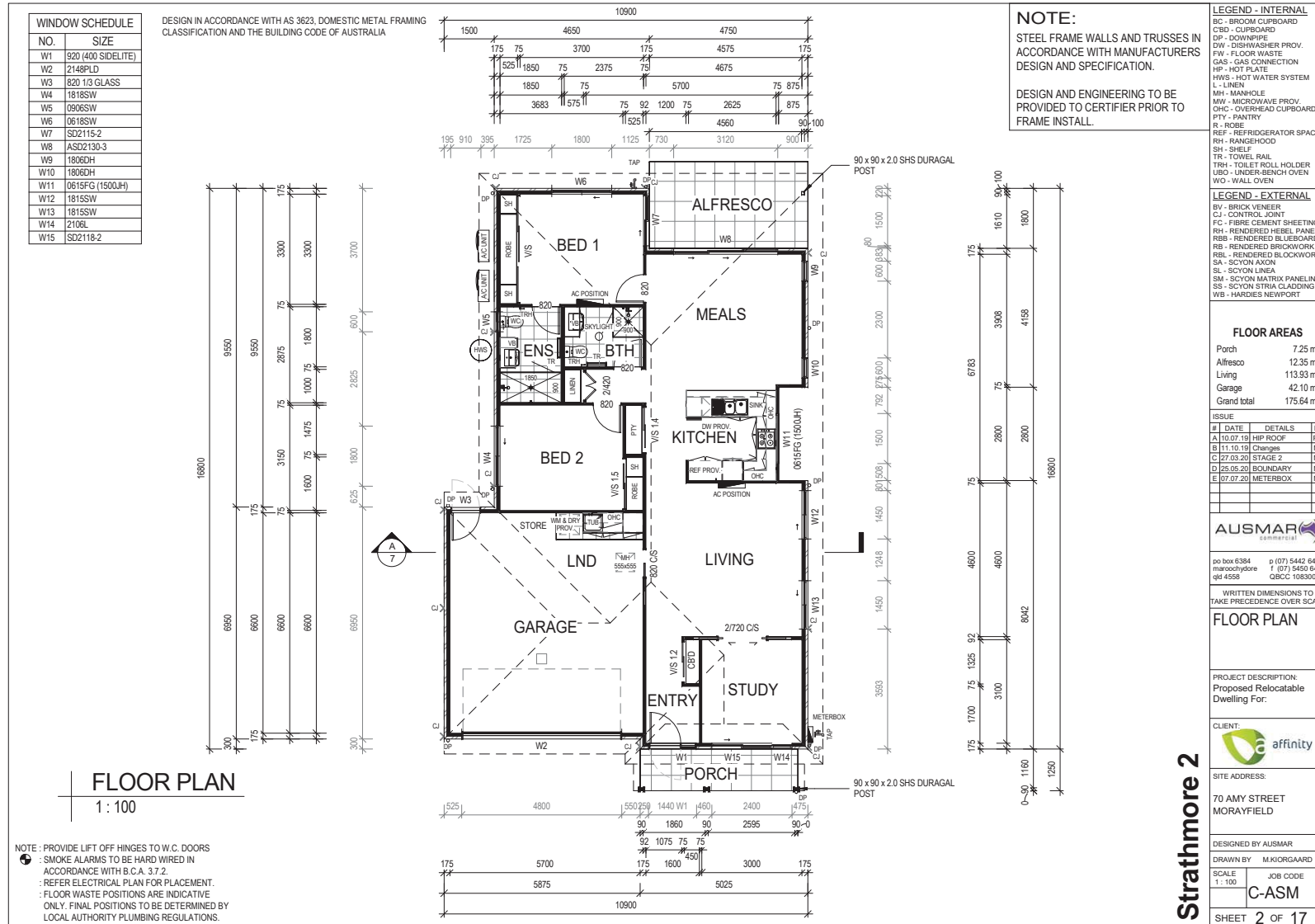
SHEET 5 OF 17

**Strathmore 1**





ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

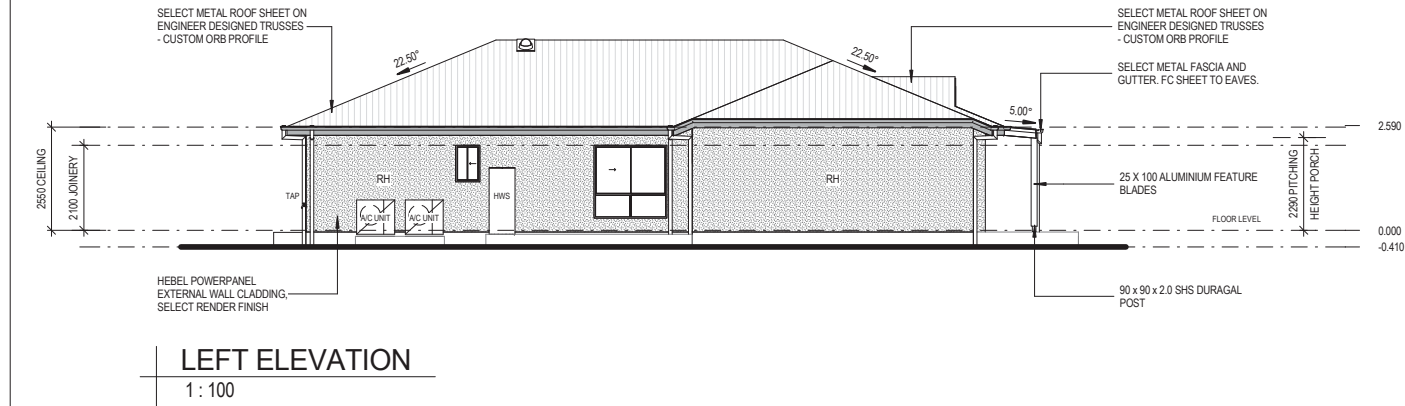


Strathmore 2

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



FRONT ELEVATION  
1 : 100



LEFT ELEVATION  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBD - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN
- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RSB - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

ISSUE

#	DATE	DETAILS	BY
A	10.07.19	HIP ROOF	PW
B	11.10.19	Changes	MK
C	27.03.20	STAGE 2	MK
D	25.05.20	BOUNDARY	MK
E	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
qld 4558 qbcc 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:  
**affinity**

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

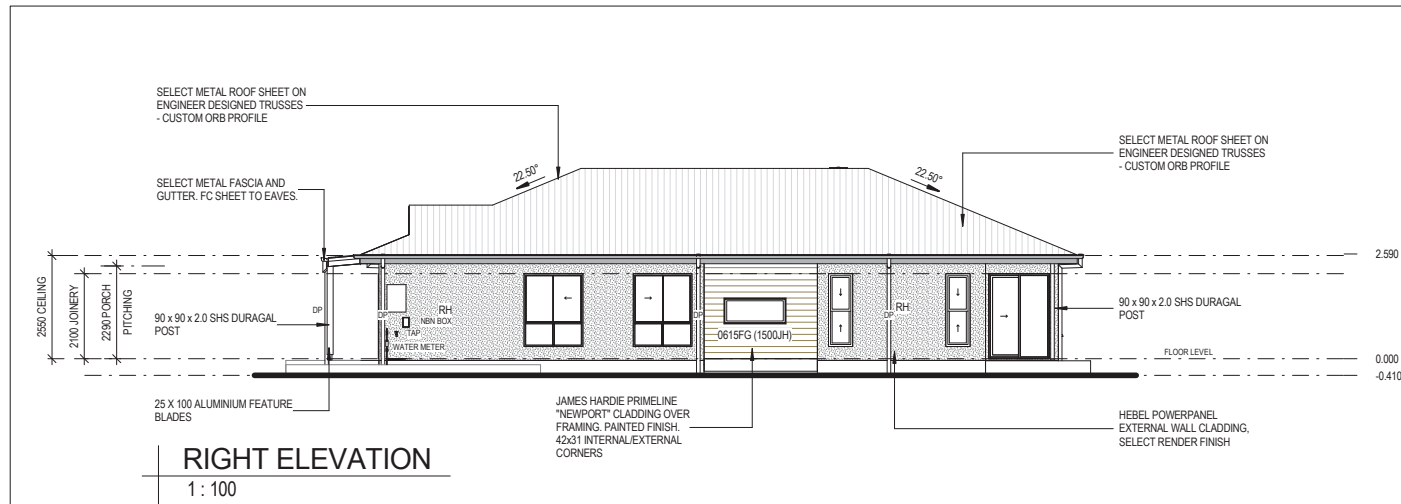
DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

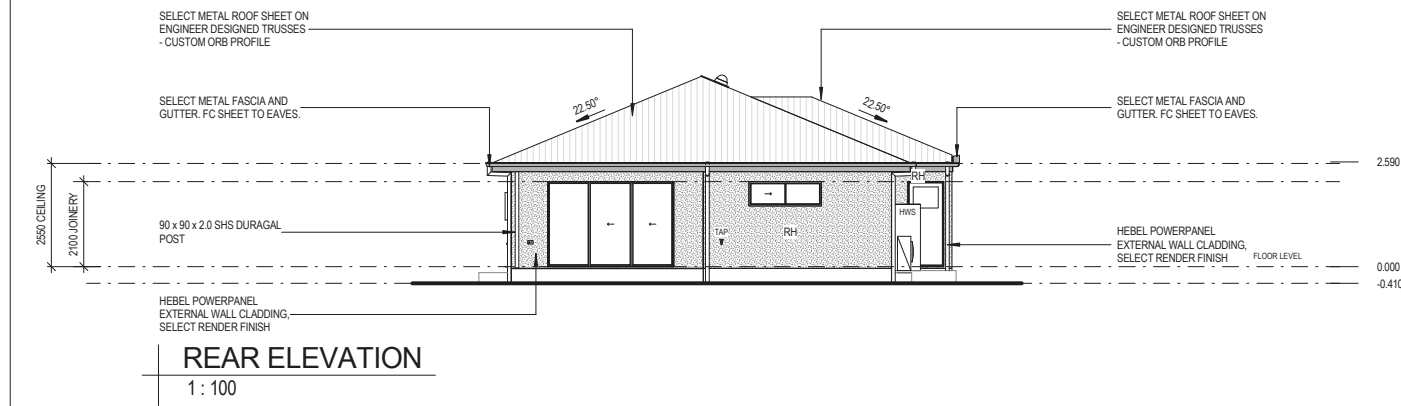
SHEET 3 OF 17

**Strathmore 2**

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**RIGHT ELEVATION**  
1 : 100



**REAR ELEVATION**  
1 : 100

ALL FIXING AND FLASHING TO BE IN STRICT ACCORDANCE WITH THE MANUFACTURERS DETAILS. WINDOW SIZES SHOWN ARE NOMINAL ONLY AND ARE TO BE VERIFIED BY THE BUILDER ON SITE.

- LEGEND - INTERNAL**
- BC - BROOM CUPBOARD
  - CBU - CUPBOARD
  - DP - DOWNPIPE
  - DW - DISHWASHER PROV.
  - FW - FLOOR WASTE
  - GAS - GAS CONNECTION
  - HP - HOT PLATE
  - HWS - HOT WATER SYSTEM
  - L - LINEN
  - MH - MANHOLE
  - MW - MICROWAVE PROV.
  - OHC - OVERHEAD CUPBOARD
  - PTY - PANTRY
  - R - ROBE
  - REF - REFRIGERATOR SPACE
  - RH - RANGEHOOD
  - SH - SHELF
  - TR - TOWEL RAIL
  - TRH - TOILET ROLL HOLDER
  - UBO - UNDER-BENCH OVEN
  - WO - WALL OVEN

- LEGEND - EXTERNAL**
- BV - BRICK VENEER
  - CJ - CONTROL JOINT
  - FC - FIBRE CEMENT SHEETING
  - RH - RENDERED HEBEL PANELS
  - RSB - RENDERED BLUESBOARD
  - RB - RENDERED BRICKWORK
  - RBL - RENDERED BLOCKWORK
  - SA - SCYON AXON
  - SL - SCYON LINEA
  - SM - SCYON MATRIX PANELING
  - SS - SCYON STRIA GLAZING
  - WB - HARDIES NEWPORT

#	DATE	DETAILS	BY
A	10.07.19	HIP ROOF	PW
B	11.10.19	Changes	MK
C	27.03.20	STAGE 2	MK
D	25.05.20	BOUNDARY	MK
E	07.07.20	METERBOX	MK

**AUSMAR**  
CONSTRUCTIVE

po box 6384 p (07) 5442 6413  
maroochydore t (07) 5450 6437  
6464 6568 QBCG 1083000

WRITTEN DIMENSIONS TO TAKE PRECEDENCE OVER SCALE

**ELEVATIONS**

PROJECT DESCRIPTION:  
Proposed Relocatable Dwelling For:

CLIENT:

SITE ADDRESS:  
70 AMY STREET  
MORAYFIELD

DESIGNED BY AUSMAR

DRAWN BY AUSMAR

SCALE 1:100 JOB CODE C-ASM

SHEET 4 OF 17

**Strathmore 2**



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**PART SITE / LOCALITY PLAN**

46 AMY STREET, MORAYFIELD

**SERENITAS** 2020-20 SD01 P2

28 SEPTEMBER 2020



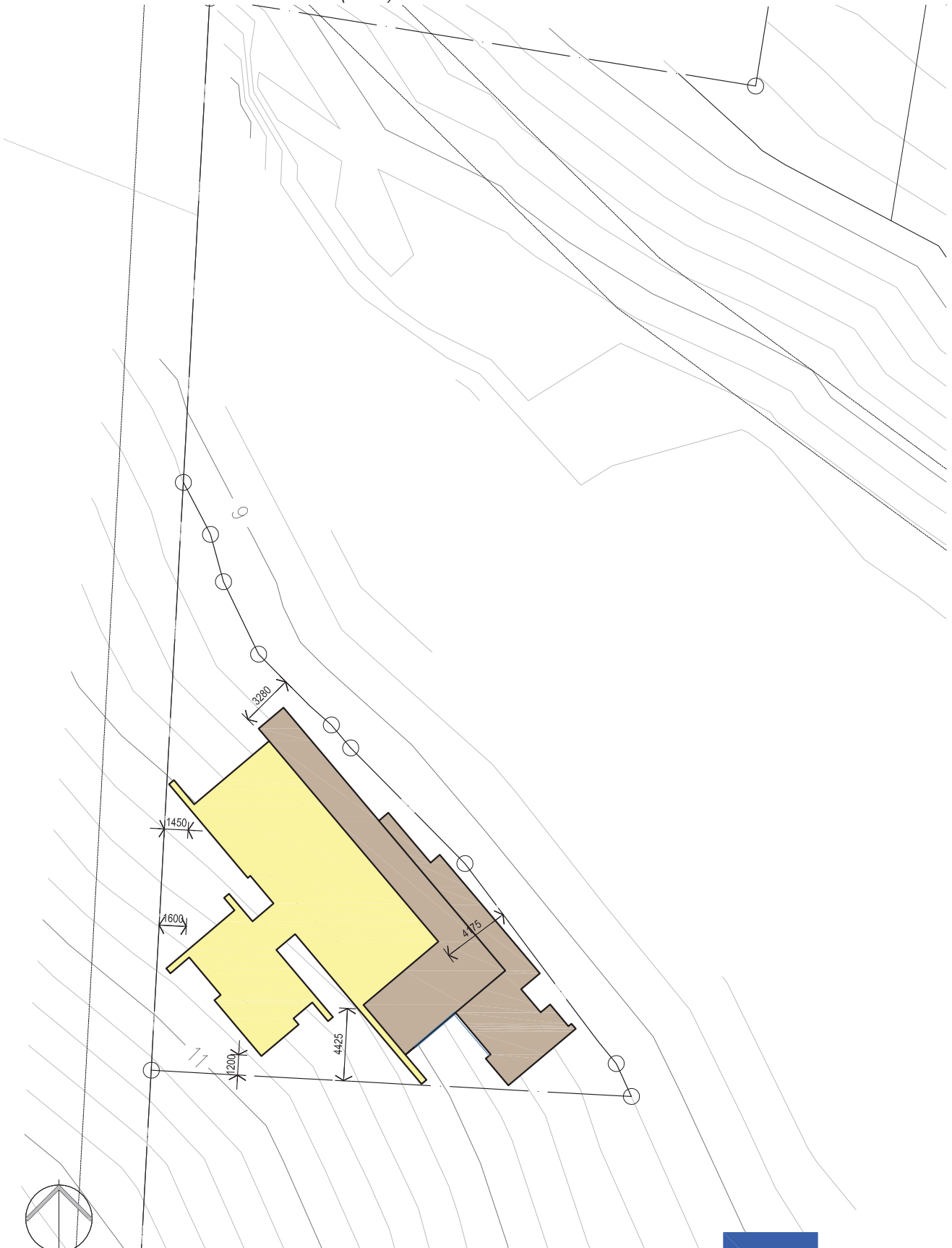
M 0407 162 024

bluelinearchitecture.com.au



ARN: 41 625 117 455

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**SITE PLAN | COMMUNITY FACILITY**

46 AMY STREET, MORAYFIELD

**SERENITAS** 2020-20 SD02 P2

28 SEPTEMBER 2020



M 0407 162 024

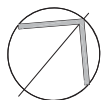
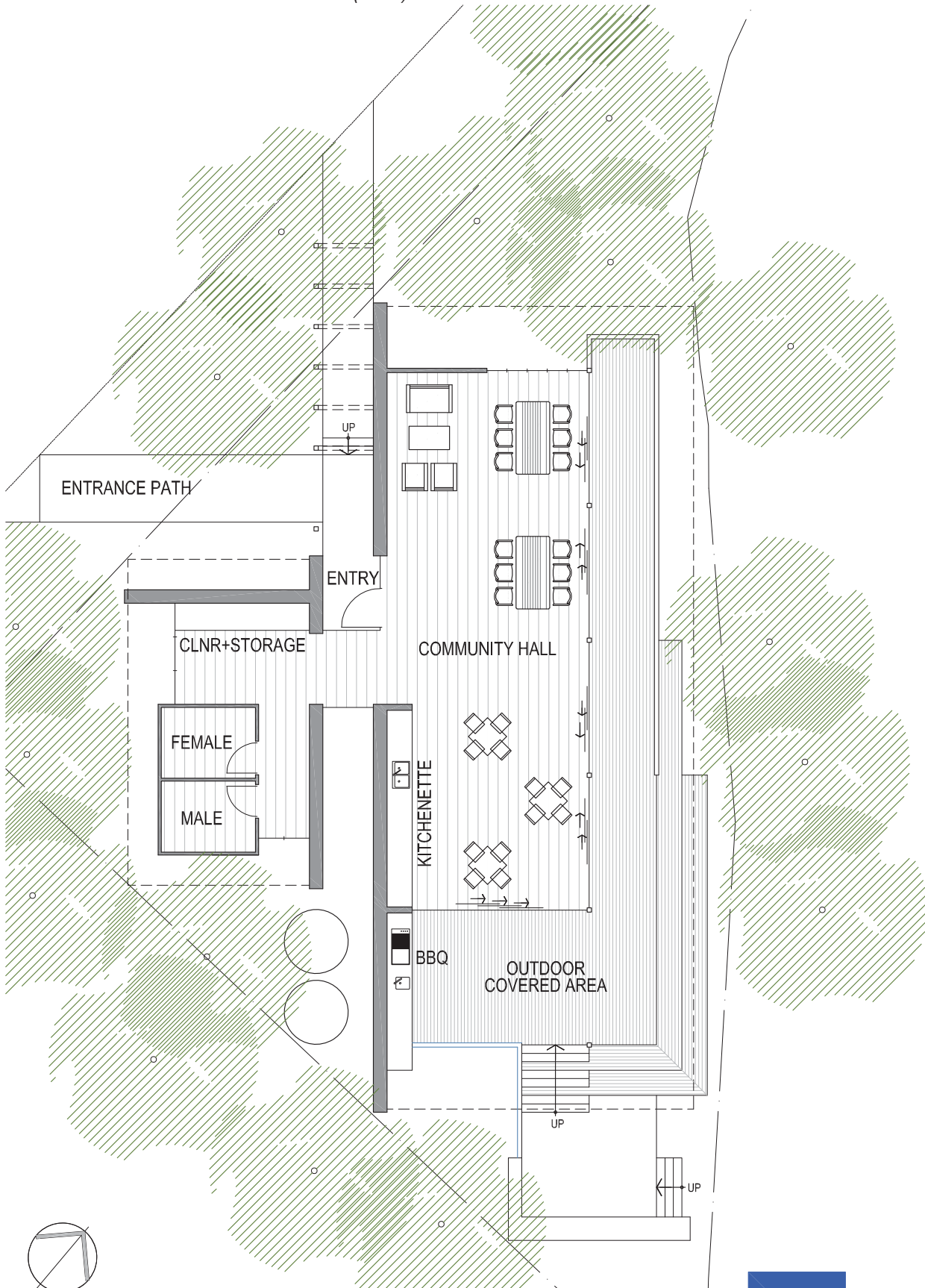
bluelinearchitecture.com.au



ARIN: 41 625 117 455



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**FLOOR PLAN**

46 AMY STREET, MORAYFIELD

**SERENITAS** 2020-20 SD03 P3

28 SEPTEMBER 2020



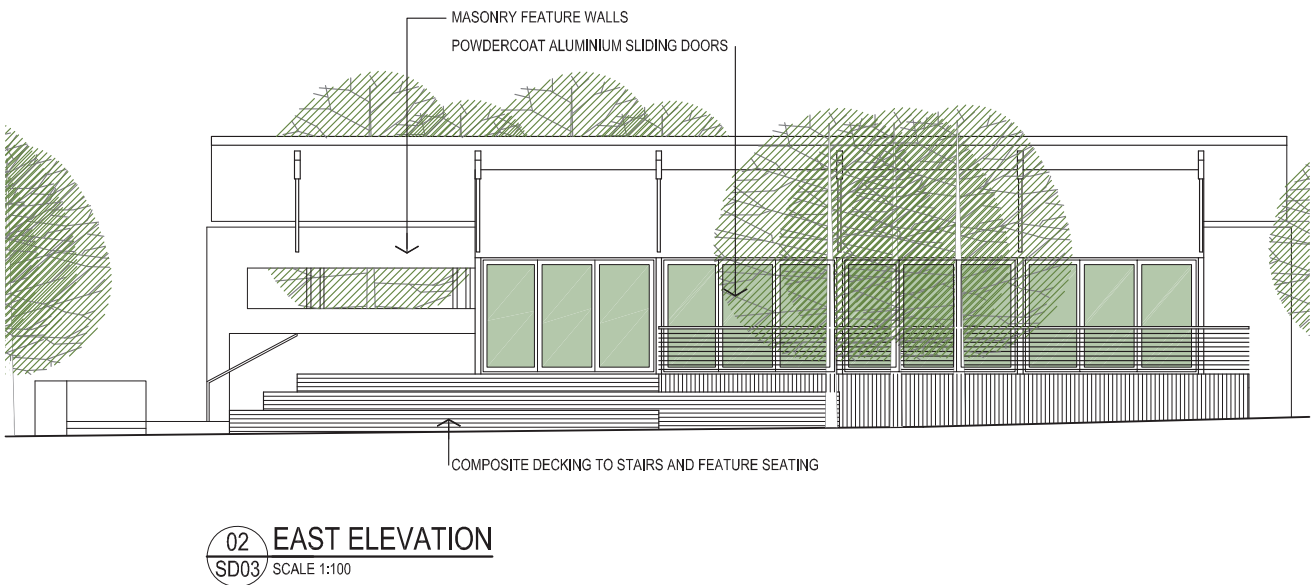
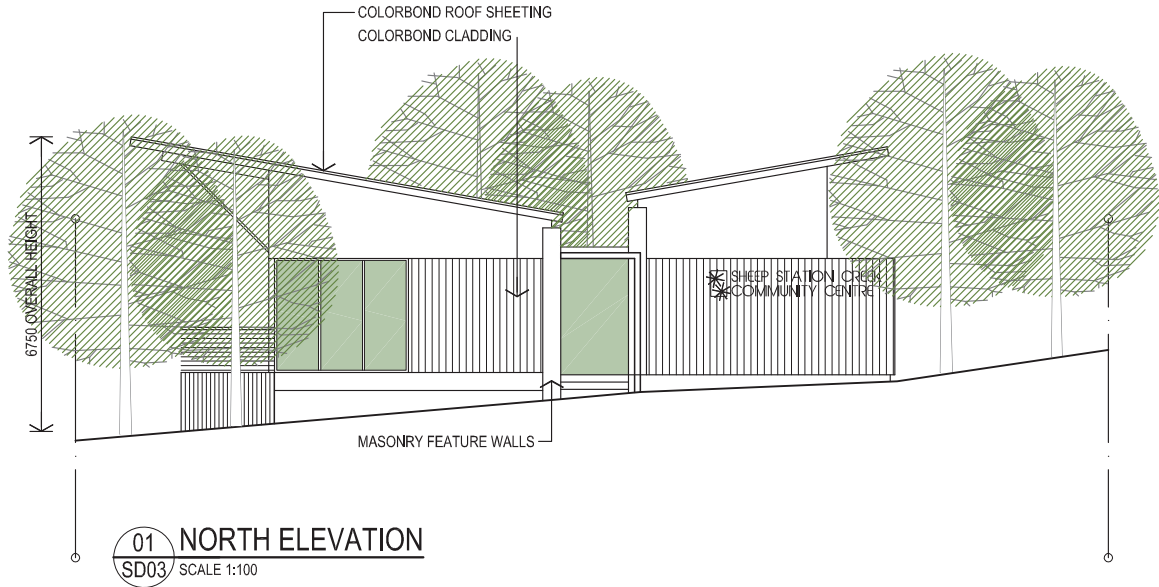
M 0407 162 024

bluelinearchitecture.com.au



ARN: 41 025 117 455

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

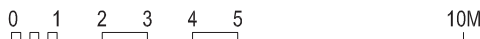


**ELEVATIONS**

46 AMY STREET, MORAYFIELD

**SERENITAS** 2020-20 SD04 P2

28 SEPTEMBER 2020



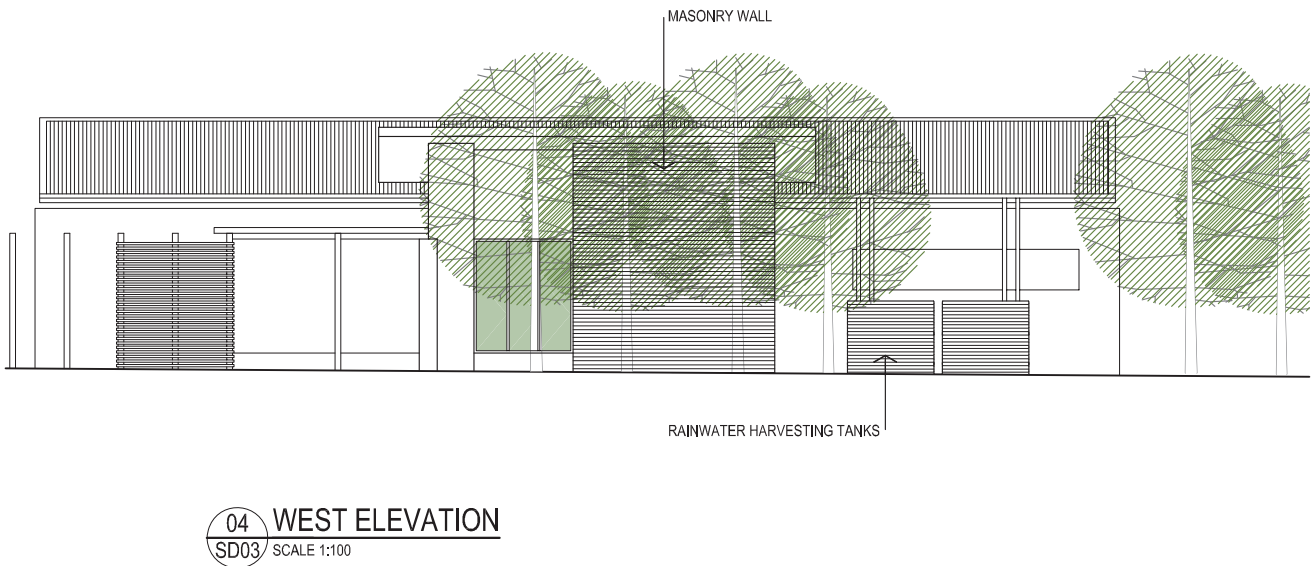
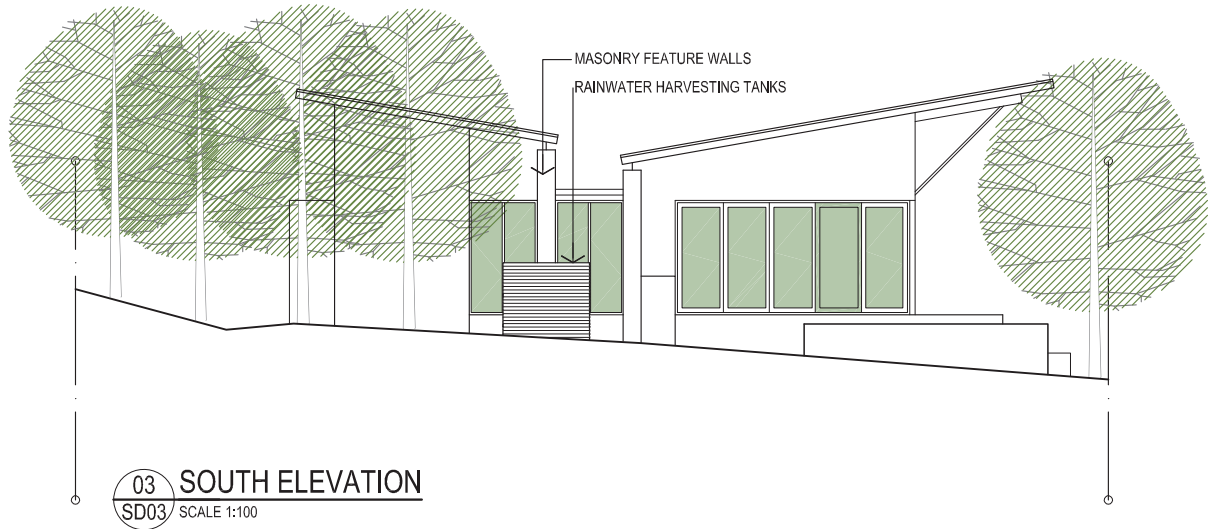
M 0407 162 024

bluelinearchitecture.com.au



ARN:41 625 117 455

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



**ELEVATIONS**

46 AMY STREET, MORAYFIELD

**SERENITAS** 2020-20 SD04 P2

28 SEPTEMBER 2020



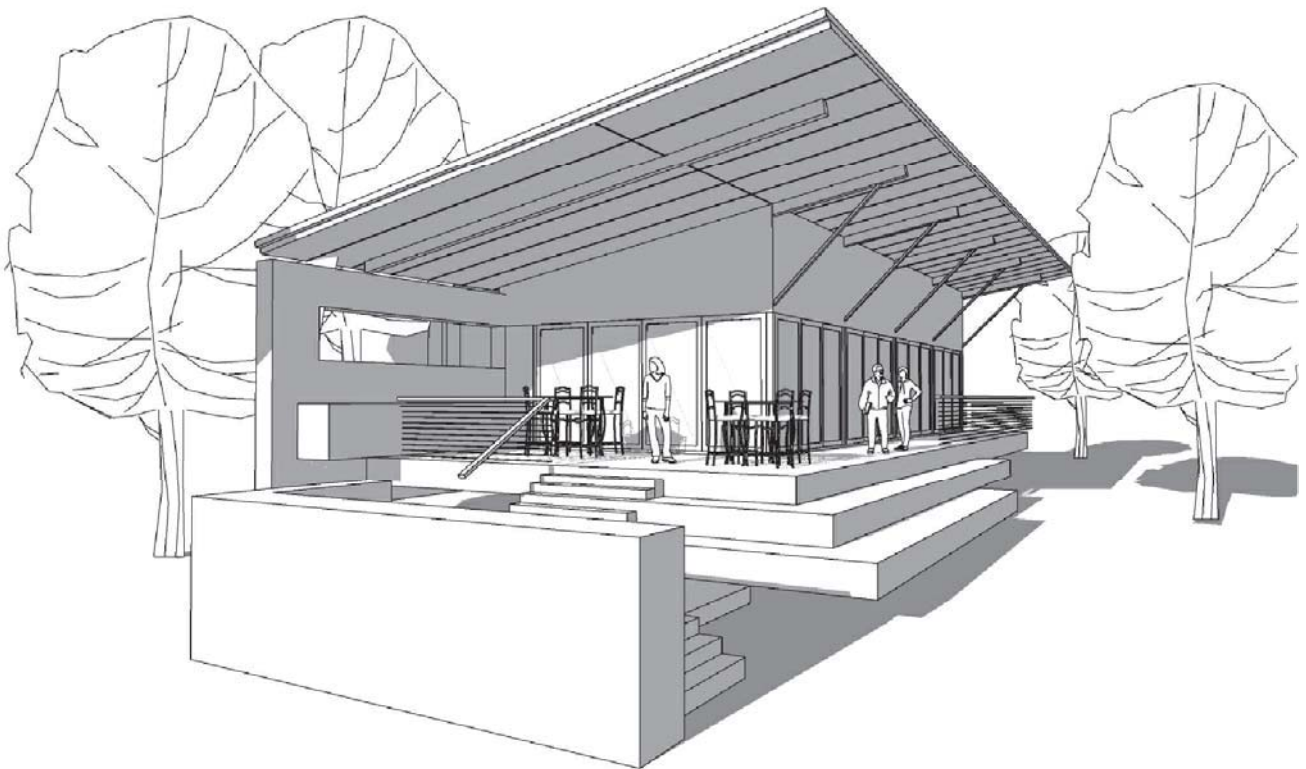
M 0407 162 024

bluelinearchitecture.com.au



ARN:41 625 117 455

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



PERSPECTIVE

46 AMY STREET, MORAYFIELD

**SERENITAS** 2020-20 SD06 P1

28 SEPTEMBER 2020

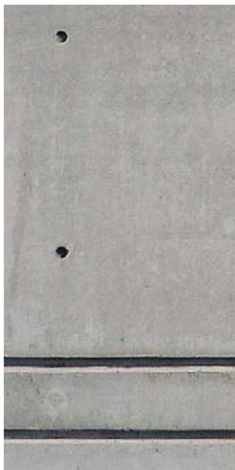


ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

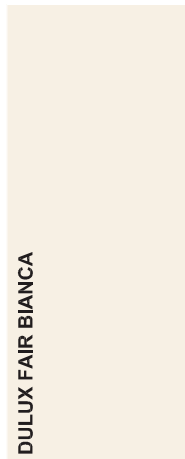
EXTERNAL CLADDING



RAINWATER HARVESTING



INTERNAL COLOURS



ROOFING AND WINDOWS

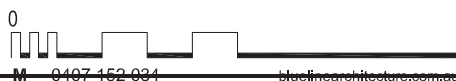


TYPICAL MATERIALS | FINISHES

46 AMY STREET, MORAYFIELD

SERENITAS 2020-20 SD07 P1

28 SEPTEMBER 2020



M 0407 162 004

bluelinearchitecture.com.au



blueline architecture

ABN: 41 625 117 455



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)



LANDSCAPE  
DESIGN REPORT

01/02/2021  
[ISSUE F]  
PR146809





ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

REVISION	DATE	PREPARED BY	APPROVED BY
[F]	01/02/21	AB	EF
[E]	28/01/21	JM/AB	EF
[D]	04/12/20	JM	EF
[C]	25/09/20	JM	EF
[B]	25/09/20	JM	EF
[A]	18/09/20	AB	EF

**Prepared for:**

Serenitas

**Site Location:**

46 Amy St, Morayfield

**Prepared by:**

RPS Australia East

Level 4 HQ South  
520 Wickham Street  
Fortitude Valley  
QLD 4006 Australia

Telephone: +61 7 3539 9500

ABN: 44 140 292 762

rpsgroup.com

© RPS 2019

The information contained in this document produced by RPS is solely for the use of [Serenitas] for the purpose for which it has been prepared and RPS undertakes no duty to or accepts any responsibility to any third party who may rely upon this document.

All rights reserved. No section or element of this document may be removed from this document, reproduced, electronically stored or transmitted in any form without the written permission of RPS.



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

Site Context



Amy Street interfaces the 70 Amy Street development on the west with connections between these two sites being an important consideration of the design. Sheep Station Creek bisects the southern end of the site. A channelized tributary of this watercourse also bisects the site.

A Koala Conservation zone comprising re-growth native vegetation occurs in the lower section of the site.

G:\146809-46 AMY STREET\146809-46 AMY STREET\146809-46 AMY STREET\146809-46 AMY STREET\146809-46 AMY STREET DA REPORT\INDO











ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

## VISION STATEMENT

The landscape embraces relaxed country living, blurring the boundaries between the site and its beautiful natural surrounds. Drawing inspiration from the unique environmental context, the rich planting palette features Australian natives offering a tranquil, rural aesthetic and nurturing local wildlife.

Celebrating the unique Sheep Station Creek vista is a pocket parks that provide opportunities for relaxing and socialising. These are connected with pathways and seating nodes designed to ensure ease of use for all levels of ability, providing a safe and comfortable environment for all residents and visitors.



G:\146800\46 AMY STREET\146800-2-46 AMY STREET\VC\_TECHNICAL\INDSIGN\CL\_1\31 REDUPT\146800 AMY STREET DA REPORT.DWG



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

## DESIGN DRIVERS



### ENTRY

The front gate will frame the connection from the street and offer a pedestrian scaled experience, welcoming residents home. This will be embellished with a palette of natural materials and native planting inspired from the surrounding environment



### HEALTH AND SAFETY

The amenities offered will provide equal access opportunities for people with diverse abilities and needs, ensuring all visitors and guests can make the most of what the space has to offer. This consideration will be applied through providing DDA compliant pathways, clear sightlines and entry/ exit points, lighting and seating/tables with appropriate supports.



### RELAXED RURAL

The borrowed view of towering eucalypts and vistas of the Sheep Station Creek tributary will be celebrated in the landscape with this native aesthetic being continued as the design language throughout the site. This will be delivered through a variety of landscape interventions that will provide visually interesting spaces that affirm the unique sense of place.

G:\1\46809-46 AMY STREET\146809-2-46 AMY STREET\VC\_TECHNICALS\ENGINEERING\LA3\REPORT\146809 AMY STREET DA REPORT.DOC

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

## SITE CONCEPT PLAN

### LEGEND

- 1 New path on Amy Street to connect to neighbouring property
- 2 New path on Amy street to connect to proposed location of shared cycle and pedestrian link
- 3 Proposed location of 2.5m wide cycle and pedestrian link. Located along Serenity Way to connect with existing pathway and creek crossing connecting to Springwater Crescent.
- 4 2m wide planting strip in front of permeable fence to lots along Serenity Way
- 5 2m wide landscape strip within lots facing Amy Street, consisting of small trees and groundcovers
- 6 New small street tree to Amy Street. dependant on overhead powerline heights
- 7 Entry feature
- 8 Pedestrian connection to lot 6
- 9 Feature pavement to centrally drained laneways
- 10 Transparent fence to top of wall along open space.
- 11 Pocket park
- 12 10m wide bushfire offset. Managed vegetation with turf understory and scattered trees.
- 13 Existing vegetation to be protected and retained
- 14 Pedestrian path connection to community centre and adjoining residential community. This connection will be composed off a 1:20 max concrete footpath located outside of flood-depth classification 1% AEP of more then 0.5m and an elevated boardwalk. Location to be confirmed during detail design.
- 15 Community Hall (by others)
- 16 Buffer planting to base of wall to create softening
- 17 Turfed open space with koala tree planting at interface with koala habitat





ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

## ENTRY CONCEPT PLAN

### LEGEND

- 1 Signage walls with address and name of estate
- 2 1.8m feature fencing returns on to Amy Street to reinforce the entrance on Amy Street
- 3 Feature planting to signage walls
- 4 Screening planting to adjoining residential lots
- 5 Feature road pavement to signify driveway entry
- 6 Pedestrian path
- 7 Pedestrian gate with fob entry
- 8 Vehicle pin code entry pillar
- 9 Letter box with canopy
- 10 Residential car park for letterbox pick up
- 11 Entry gate to swing into the site
- 12 Exit gate to swing out of the site
- 13 Trees to entry provide scale, shade and amenity.
- 14 Low planting to the central median to allow for large vehicle traffic movements.
- 15 Low shrub planting to match central median



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

## ENTRY CONCEPT ELEVATION

The entry character is inspired by the natural setting and influenced by the historical rural uses. The materiality has been driven by the neighbouring sister site. The focus of the design was to create a welcoming gateway into the development and provide a safe a secure community.



### LEGEND

- 1 Timber rural style fence 1.8m high to residential lots
- 2 Stack stone feature walls
- 3 Corten steel entry sign blade fixed to stack stone wall
- 4 Grass tree and feature planting
- 5 Trees behind entry signage provide scale, shade and amenity



ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

# ENTRY CONCEPT ELEVATION



## LEGEND

- 1 Timber rural style fence 1.8m high to residential lots
- 2 Stack stone feature walls
- 3 Corten steel entry sign blade fixed to stack stone wall
- 4 Grass tree and feature planting
- 5 Letter box with canopy
- 6 Corten steel Pedestrian entry gate with canopy. Pattern to be confirmed
- 7 Corten steel vehicle entry gate. Pattern to be confirmed
- 8 Trees to entry provide scale, shade and amenity
- 9 Vehicle pin code entry pillar

ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

# POCKET PARK CONCEPT PLAN

The park draws its inspiration from the neighbouring creek corridor and historical rural setting. The rolling hills of the farm are reflected in the curved terraces. A path cuts through the slope to provide access to the open space creek corridor to the south. The path connects uses to informal terraces seating areas set within a garden landscape.

Each terrace offers a different experience. The top terrace provides a shelter, BBQ, table, and seating for group gatherings. The second terrace is more intimate with a corner seat, movable individual chairs and coffee table style table for the more relaxed socialising. The third terrace has a seating set into the garden bed with a out look onto the existng open space.

## LEGEND

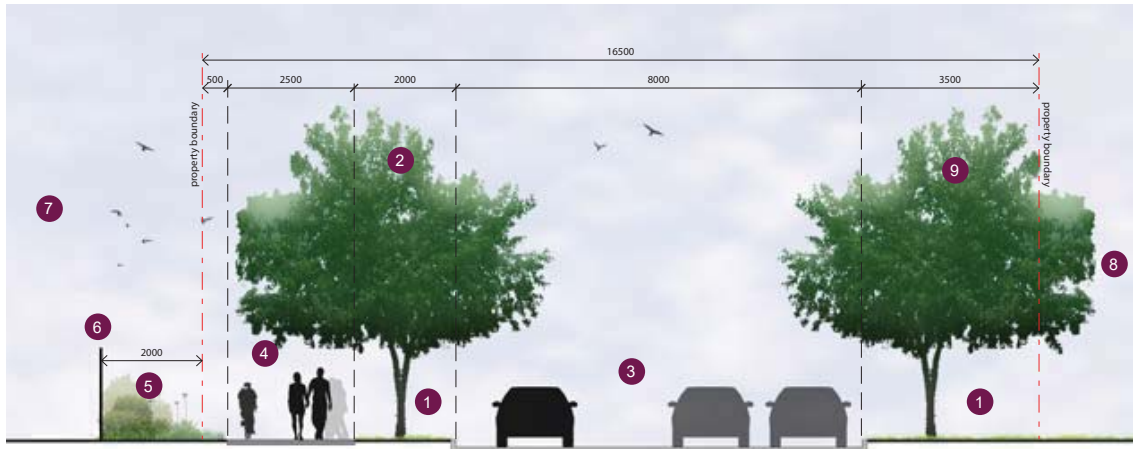
- 1 Large feature tree provides shade and aids in way finding
- 2 Feature pavement
- 3 Picnic shelter
- 4 Picnic seating and table
- 5 Sandstone terraced walls
- 6 Seating with back & arm rests
- 7 Steppers in gravel
- 8 Turf
- 9 Moveable individual seats
- 10 BBQ
- 11 Screening planting to adjoining residential lots
- 12 Path connection to open space and community centre
- 13 Steps for alternative direct access





ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

## SERENITY WAY SECTION



### LEGEND

- 1 Turfed verge
- 2 Street tree
- 3 Road pavement
- 4 2.5m shared pedestrian & cycle path
- 5 2m wide landscape buffer
- 6 1.8m high permeable fence
- 7 Proposed development lot
- 8 Existing standard lot
- 9 Existing tree to be retained where possible







ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)

**#5 Submissions**

Megan Adams & Trevor Smith  
3 Oasis Court  
Morayfield

The Assessment Officer  
DA/41917/2020/V2L  
Moreton Bay Regional Council

28 February 2021

Dear Assessment Officer

**RE:** DA/41917/2020/V2L  
Material Change of Use - Development Permit for Relocatable Home Park (32 Units)  
Access Prevention Strip Amy Street MORAYFIELD QLD 4506

We hereby submit our objections and concerns regarding the above Development Application.

Firstly we would like to bring to Council's attention the inadequate signage provided to advise impacted residents of the above proposal.

One sign on Amy St is concealed by greenery and parked cars and only visible to residents who would drive past the existing entry to the site. The second sign is at the end of Serenity Way facing Oasis Court and only residents driving down to Oasis Court would see this sign.

All residents of Amy Street and Serenity Way will be impacted by this development, however most would not have seen either sign and therefore not be aware of any development application until after the date to object. I had read on the Council's website that a mailbox drop should have occurred advising all residents. I am not aware this occurred.

We have the following concerns regarding this development:

**Parking**

3.4 SIGHT DISTANCE in *Attachment D – Revised Traffic Impact Assessment* states 'A review of the Amy Street frontage has found that there are no permanent obstructions to sight distance at the proposed access location'. That is correct, however there will be obstruction to sight distance for anyone coming out of Serenity Way.

I have previously contacted Council regarding the increased street parking since the completion of the Rockpool Aged Care complex. Staff from this complex park along Amy Street and limit the line of sight of any vehicle turning right onto Amy Street from Serenity Way. Basically drivers have to pull into the road itself to see if anything is coming from the left down Amy Street.

Figure 2-2 Amy Street at Site Frontage (Facing West) in *Attachment D – Revised Traffic Impact Assessment* shows the current parking issue. Please note that the photo was taken at camera height of 2 metres and not the 1.2 metre height of a standard vehicle.

If this site is developed, as proposed, those cars will no longer be able to park on the left hand side of Amy Street as per Figure 2-2 above. This will force them to park further up Amy Street, on the other side of Serenity Way. Currently a couple of cars park there now. An increase in parking in that location will block the view of oncoming traffic to vehicles turning right onto Amy Street. Again drivers will have to pull into the road to see if anything is coming from the right down Amy Street. In this scenario, however, vehicles are pulling into the lane being used by oncoming traffic that can't be seen.

The only other option is these cars start parking down Serenity Way, which has occurred on several occasions. As Serenity Way is only a one lane road any parking there impedes traffic.

**ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)**

Adding to this issue will be any additional vehicles of residents in the proposed development as the plans show only one vehicle spot per lot. Where will second cars of residents and those of visitors park?

It is proposed Lot 6's driveway will be within 6m of the Amy Street / Serenity Drive intersection. If parking is not addressed this will cause further issues.

3.5 SITE ACCESS in *Attachment D – Revised Traffic Impact Assessment* states:

1. It is understood that Lot 6's driveway will be within 6m of the Amy Street / Serenity Drive unsignalised intersection tangent point, as seen in Figure 3-3, along the lot's property boundary which does not directly satisfy AS2890.
2. Standard building plans do not support an option where access via Serenity Way can be achieved with ease

In response to above it is clear the proposed location of Lot 6's driveway does not meet requirements and cannot be achieved with ease. The authors have provided pictures in *Attachment D – Revised Traffic Impact Assessment* - Figure 3-4 Similar Examples Surrounding the Site, to demonstrate this occurs in other areas of Morayfield. However none of those examples include a one lane road. Serenity Way is a one lane road. The assessment should be made on the impact on Serenity Way instead of other non-comparable streets.

**Traffic**

The increase in traffic caused by an additional 32 residents will increase the already frustrating time it can take to turn onto Caboolture River Road.

4.3 TRIP DISTRIBUTION in *Attachment D – Revised Traffic Impact Assessment* states traffic will use Ben Street to turn right onto Caboolture River Road and Amy Street to turn from Caboolture River Road. This is further illustrated in Figure 4-3 Existing 'Staggered T' on Caboolture River Road. This is actually absurd to state which street residents will take to turn right onto Caboolture River Road. This appears to be part of the rouse to admit, but not mention, there is an issue turning right onto Caboolture River Road from Amy Street. Either way it can take considerable time to turn right onto Caboolture River Road from either Amy or Ben Streets.

Traffic from the School crossing during school drop of and, in particular, school pick up can bank back further than Amy Street.

Waiting time for traffic on Caboolture River Road at the Morayfield Road intersection, regardless of which way you want to turn, has recently been increased due to the shortening of the turn left lane. The lane was shortened to accommodate Taco Bell and the service station.

At times you can wait for more than 3 changes of traffic lights to get through the intersection from Caboolture River Road, especially during school pick up times. During this time traffic can bank back from the school across the intersection and sometimes prevent any traffic from moving anywhere.

This congestion also impacts traffic coming from the Morayfield Shopping Centre, across Morayfield Road, to Caboolture River Road.

2.5 FUTURE INFRASTRUCTURE UPGRDES (sic) in *Attachment D – Revised Traffic Impact Assessment* states - As highlighted in Figure 2-6 Caboolture River Road in has been identified by Council for an upgrade via the LGIP works program. While the details are yet to be determined, as we understand it, and is subject to ongoing planning of the Council, the upgrade is likely to rationalise movements at Caboolture River Road / Amy Street. See Section 4.3 for more details.

This paragraph highlights that there is an issue with turning from Amy Street onto Caboolture River Road without actually saying it. This explains why 2.4.4 INTERSECTION ANALYSIS in *Attachment D – Revised Traffic Impact Assessment* does not even mention the Amy Street/Caboolture River Road intersection.



**ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)**

An undetermined plan by Council to upgrade Caboolture River Road will not resolve the issue in the short or even medium term and cannot be used as a mitigation strategy for increased traffic at the Amy Street/Caboolture River Road intersection.

#### Water Run Off

7 FLOODING in *Appendix H – Civil Services and Engineering Report* states:

A Moreton Bay Regional Council Flood Check Development Report (Appendix C) has been obtained for the site which indicates that the site is not impacted flooding from Sheep Station Creek. The report identifies a defined flood level (DFL) for the site of 9.20m AHD and a corresponding immunity level of 9.95m AHD (DFL +0.75m). The entire development footprint has achieved immunity to the flood level as a result of the proposed filling.

We have concerns that 'filling' or building up the site will cause water run down and pool where Serenity Way meets Oasis Court.

During severe weather events the water from Sheep Station Creek has breached the road on Oasis Court and Serenity Way.

I was unable to open either of the following documents:

- Attachment E - MUSIC model S20-047
- Attachment E - Drains Model S20-047

#### Wildlife

Figure 1 - Tree Retention Plan in *Appendix F – Ecological Assessment Report* shows trees along Serenity Way being removed as stated in 4.4 Survey Findings:

No evidence of koala was directly observed through active canopy searches or passive evidence of scratch marks or scat at the base of trees surveyed. Despite this, koala is known to the locality and there is a likelihood for koala to move through the Site, particularly the southern areas which support more intact habitats and connectivity to the south west where larger tracts of vegetation occur.

Koalas do utilise these trees. We see them and hear them regularly.

We were disappointed that we were unable to ascertain on which grounds the request to amend a koala habitat area as approved. Section 4.2 of the [Guideline Nature Conservation \(Koala\) Conservation Plan 2017](#), on the Department of Environment and Science website, states: An owner of land (or person acting on the owner's behalf with written consent) may request to have a koala habitat area determination made, amended or revoked if they believe the determination for all or part of their property is incorrect. This amendment, conveniently, allows for an open space for residents to enjoy.

There is no mention in *Appendix F – Ecological Assessment Report* of the mob of kangaroos that also inhabit and utilise this site and surroundings.

Thank you for your consideration and look forward to your response.

Megan Adams

Trevor Smith

*ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)*

To the Assessment Officer responsible for the following:

**DA number** DA/41917/2020/V2L

**Description** Material Change of Use - Development Permit for Relocatable Home Park (32 Units)

**Lodged date** 30 Sep 2020

**Site name** Access Prevention Strip Amy Street MORAYFIELD QLD 4506

Dear Sir/Madam

My wife and I are objecting to the above development for the following reasons:

**1. Impact on native wildlife**

- a. There is a mob of kangaroos, numbering approximately 15, who have been feeding on the proposed development site for many years. Recent development around the proposed site has already infringed on their grazing area.
- b. Koalas utilise the trees along the boundary on Serenity Way. We have photographic evidence of this. The koalas feed on the established Gum Topped Box and Tallowoods Forest Red Gums, Narrow Leaf Ironbark and Gum Topped Box.
- c. Koalas are throughout this site as we see and hear them. Recent development around the proposed site had already infringed on the koala's habitat.
- d. Native birds that nest in these trees include:
  - i. Honey Eaters
  - ii. Night birds
  - iii. Owls
  - iv. Cuckoos,
  - v. White-throated Needletails – these are listed as vulnerable

**2. Impact on local Parking**

The recent development of an aged care home, Rockpool, in Amy St has created a traffic hazard as staff working there park on both sides of Amy St and make it difficult to see anything coming from the left when turning out of Serenity Way onto Amy St. They park right on the corner and the only way to see if anything is coming is to pull into the middle of Amy St. These cars park along the proposed site frontage. We have already had a near miss due to the inability to see the traffic coming down Amy St. If the ability to park there is no longer an option these cars will have to park on the side of Amy St before Serenity Way. This will create a greater danger as to see if anything is coming down Amy St you will need to pull into the middle of Amy St, but now you are pulling into the same lane as oncoming traffic.

If the residents of the proposed development have visitors or more than one car where will they park? Council needs to consider local parking before approving nonstandard residential developments.

**3. Impact on local traffic**

- a. The increase in local traffic will cause issue when turning into Amy St from Serenity Way. This will be also hampered by the addition of a drive way within 6 metres of the cross road.
- b. It will increase the already frustrating amount of time it takes to turn onto Caboolture River Rd from either Amy St or Ben St, particularly during school drop of and pick up times.

*ITEM 4.1 - DA/41917/2020/V2L - MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR RELOCATABLE HOME PARK AT 46-54, 70 & ACCESS PREVENTION STRIP AMY STREET, MORAYFIELD DESCRIBED AS LOT 12 SP224736, LOT 22 SP220446 & LOT 37 SP 150798 (Cont.)*

- c. Now with Taco Bell and a Service Station on the corner of Caboolture River Rd and Morayfield Rd it can take 2 to 4 changes of lights to get through that intersection, regardless of which way you are turning. During school pick up and drop off this can increase to longer a wait. The increased vehicles from 32 sites will only make this worse.

**4. Water run off**

We are concerned that water will run down Serenity Way during heavy rain. There have been several occasions the water from Sheep Station Creek has breached the road on Oasis Court and where it meets Serenity Way. If the proposed site is built up, in any way, this will only increase the likelihood of localised flooding in this area.

**5. Impact on property value**

It is logical to think this type of development will lower the value of our property due to the increased number of high density developments surrounding our street.

In addition to our objection we also want to highlight that we don't consider the three weeks' notice to object enough time. A more important issue, however, is the placement of the council signs. One is at the end of Serenity Way where it meets Oasis Court. The other sign is in Amy St in front of the gate of the existing entry to the proposed development site. Most residents of Amy St and Serenity Way would not see either sign. These two issues suggest Council is not serious about notifying all impacted residents of the change, nor give them time to object.

Thank you for your consideration of the above.

Clyde Ford

Rosemary Ford

01/03/2021  
11 Serenity Way  
Morayfield