



SUPPORTING INFORMATION

for respective items considered at

Coordination Committee Meeting

27 November 2018

SUPPORTING INFORMATION

Ref: [A17844706](#), [A17867626](#), [A17865051](#)

The following list of supporting information is provided for:

ITEM 1.1

NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL

#1 Code of Conduct for Queensland Councillors

#2 DRAFT MBRC Meeting Procedures

#3 DRAFT Policy 2150-105 Investigation Policy

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)

#1 Code of Conduct for Queensland Councillors

Department of Local Government, Racing and Multicultural Affairs



Code of Conduct for Councillors in Queensland

September 2018

Working towards White Ribbon accreditation



ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)

Department of Local Government, Racing and Multicultural Affairs



© State of Queensland, September 2018. Published by the Department of Local Government, Racing and Multicultural Affairs, 1 William Street, Brisbane Qld 4000, Australia.



Licence: This work is licensed under the Creative Commons CC BY 4.0 Australia Licence. In essence, you are free to copy and distribute this material in any format, as long as you attribute the work to the State of Queensland (Department of Local Government, Racing and Multicultural Affairs) and indicate if any changes have been made. To view a copy of this licence, visit <http://creativecommons.org/licenses/by/4.0/>.

Attribution: The State of Queensland, Department of Local Government, Racing and Multicultural Affairs.

The Queensland Government supports and encourages the dissemination and exchange of information. However, copyright protects this publication. The State of Queensland has no objection to this material being reproduced, made available online or electronically but only if it is recognised as the owner of the copyright and this material remains unaltered.



The Queensland Government is committed to providing accessible services to Queenslanders of all cultural and linguistic backgrounds. If you have difficulty understanding this publication and need a translator, please call the Translating and Interpreting Service (TIS National) on 131 450 and ask them to telephone the Queensland Department of Local Government, Racing and Multicultural Affairs on 13 QGOV (13 74 68).

Disclaimer: While every care has been taken in preparing this publication, the State of Queensland accepts no responsibility for decisions or actions taken as a result of any data, information, statement or advice, expressed or implied, contained within. To the best of our knowledge, the content was correct at the time of publishing.

Any references to legislation are not an interpretation of the law. They are to be used as a guide only. The information in this publication is general and does not take into account individual circumstances or situations. Where appropriate, independent legal advice should be sought.

An electronic copy of this report is available on the Department of Local Government, Racing and Multicultural Affairs' website at www.dlgrma.qld.gov.au.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)

Department of Local Government, Racing and Multicultural Affairs



Contents

Purpose of the Code of Conduct.....	4
Background.....	4
The Local Government Principles and Values.....	5
Standards of behaviour.....	6
Consequences of failing to comply with the Code of Conduct.....	7
Unsuitable meeting conduct.....	7
Inappropriate conduct.....	8
Misconduct.....	8
Corrupt conduct.....	9
More information.....	9

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)

Department of Local Government, Racing and Multicultural Affairs



Purpose of the Code of Conduct

The Code of Conduct sets out the principles and standards of behaviour expected of Councillors and Mayors when carrying out their roles, responsibilities and obligations as elected representatives for their communities. By adhering to the behaviours set out below, Councillors will increase public confidence in Local Government and Council decisions.

Background

Under section 150D of the *Local Government Act 2009* (the Act), the Minister for Local Government must make a Code of Conduct stating the standards of behaviour for Councillors in the performance of their responsibilities as Councillors. In addition to this, the Code of Conduct may contain anything the Minister considers necessary for, or incidental to, the standards of behaviour.

Before assuming public office, Councillors must understand and commit to complying with the Local Government principles and obligations of Councillors in accordance with section 169 of the Act, as well as the standards of behaviour set out in this Code of Conduct. All Councillors are required to make a declaration of office under section 169 of the Act. As part of that declaration, Councillors must declare that they will abide by this Code of Conduct.



The Local Government Principles and Values

The Act is founded on five Local Government principles with which Councillors must comply while performing their roles as elected representatives. These principles are listed below:

1. Transparent and effective processes, and decision-making in the public interest
2. Sustainable development and management of assets and infrastructure, and delivery of effective services
3. Democratic representation, social inclusion and meaningful community engagement
4. Good governance of, and by, Local Government
5. Ethical and legal behaviour of Councillors and Local Government employees.

This Code of Conduct provides a set of values that describe the types of conduct Councillors should demonstrate under each principle. These values are listed below:

1. In making decisions in the public interest, Councillors will:
 - make decisions in open council meetings
 - properly inform relevant personnel of all relevant information
 - make decisions in accordance with law and policy
 - commit to exercising proper diligence, care and attention.
2. To ensure the effective and economical delivery of services, Councillors will:
 - manage Council resources effectively, efficiently and economically
 - foster a culture of excellence in service delivery.
3. In representing and meaningfully engaging with the community, Councillors will:
 - show respect to all persons
 - clearly and accurately explain Council's decisions
 - accept and value differences of opinion.
4. In exercising good governance, Councillors are committed to:
 - the development of open and transparent processes and procedures
 - keeping clear, concise and accessible records of decisions.
5. To meet the community's expectations for high level leadership, Councillors will:
 - be committed to the highest ethical standards
 - uphold the system of Local Government and relevant laws applicable.

This Code of Conduct also sets out standards of behaviour aimed at helping Councillors understand how the principles and values are put into practice while performing their official duties as elected representatives.

Each standard of behaviour is not intended to cover every possible scenario. However, they provide general guidance about the manner in which Councillors are expected to conduct themselves.

It is important to note that the principles, values and standards set out in the Code of Conduct are of equal importance.



Standards of behaviour

This Code of Conduct sets out the standards of behaviour applying to all Councillors (excluding Councillors who are governed under the *City of Brisbane Act 2010*) in Queensland. The behavioural standards relate to, and are consistent with, the Local Government principles and their associated values.

The standards of behaviour are summarised as the three R's, being:

1. **RESPONSIBILITIES**
2. **RESPECT**
3. **REPUTATION**

Each standard of behaviour includes, but is not limited to, several examples to guide Councillors in complying with the Code of Conduct when carrying out their role as elected officials. Councillors are to understand and comply with the following standards of behaviour as set out in the Code of Conduct listed below.

1. Carry out **RESPONSIBILITIES** conscientiously and in the best interests of the Council and the community

For example, Councillors will, at a minimum:

- 1.1 Attend and participate meaningfully in all Council meetings, briefings, relevant workshops and training opportunities to assist Councillors in fulfilling their roles other than in exceptional circumstances and/or where prior leave is given
- 1.2 Respect and comply with all policies, procedures and resolutions of Council
- 1.3 Use only official Council electronic communication accounts (e.g. email accounts) when conducting Council business
- 1.4 Report any suspected wrongdoing to the appropriate entity in a timely manner
- 1.5 Ensure that their behaviour or capacity to perform their responsibilities as a Councillor is not impaired by the use of substances that may put them or others at risk while performing their duties (for example, alcohol, illegal drugs or prescribed/non-prescribed and/or restricted substances)
- 1.6 Cooperate with any investigation being undertaken by the Local Government or other entity.

2. Treat people in a reasonable, just, **RESPECTFUL** and non-discriminatory way

For example, Councillors will, at a minimum:

- 2.1 Show respect for fellow Councillors, Council employees and members of the public
- 2.2 Not bully, harass, intimidate or act in a way that the public would reasonably perceive a Councillor's behavior to be derogatory towards other Councillors, Council employees and members of the public
- 2.3 Be respectful of other people's rights, views and opinions.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)

Department of Local Government, Racing and Multicultural Affairs



3. Ensure conduct does not reflect adversely on the **REPUTATION** of Council

For example, Councillors will, at a minimum:

- 3.1 When expressing an opinion dissenting with the majority decision of Council, respect the democratic process by acknowledging that the Council decision represents the majority view of the Council
- 3.2 When making public comment, clearly state whether they are speaking on behalf of Council or expressing their personal views
- 3.3 Avoid making unnecessary or irrelevant comments or accusations about Councillors or Council employees in order to undermine them or their position
- 3.4 Ensure behaviour and presentation is appropriate to maintain the dignity of the office of the Councillor.

Consequences of failing to comply with the Code of Conduct

Failure to comply with the standards of behaviour in this Code of Conduct, or other conduct prescribed in this Code of Conduct may give rise to a complaint against a Councillor's conduct and subsequent disciplinary action under the Act.

A complaint about the conduct of a Councillor must be submitted to the Independent Assessor who will assess the complaint and determine the category of the allegation. In order of most to least serious, the categories of complaint are **corrupt conduct**, **misconduct**, **inappropriate conduct** and then **unsuitable meeting conduct**.

Unsuitable meeting conduct

Under section 150H of the Act, any conduct by a Councillor that is contrary to the standards of behavior in the Code of Conduct that occurs within a meeting of Council (including standing committee meetings), is dealt with as **unsuitable meeting conduct**.

Unsuitable meeting conduct by a Councillor is dealt by the Chairperson of the meeting. It is important that the Chairperson deal with matters of unsuitable meeting conduct locally, and as efficiently and effectively as possible so that Council can continue with their business of making effective decisions in the public interest.

Note: Chairpersons of meetings are carrying out a statutory responsibility under the Act to manage and lead the meeting. As such, where a Chairperson behaves inappropriately in a meeting this involves a serious breach of the trust placed in them as the Chairperson of the meeting and may be dealt with as misconduct (see below).



Inappropriate conduct

Under section 150K of the Act, any conduct by a Councillor that is contrary to the standards of behavior in the Code of Conduct or a policy, procedure or resolution of a Council, and is not unsuitable meeting conduct, misconduct or corrupt conduct (i.e. occurs outside of a meeting of Council) is dealt with as ***inappropriate conduct***.

The conduct of a Councillor is also inappropriate conduct if the conduct contravenes an order by the Chairperson of a meeting of Council for the Councillor to leave the meeting, or is conduct at Council meetings that leads to orders for the Councillor's unsuitable meeting conduct being made on three occasions within a period of one year.

The Independent Assessor is responsible for assessing allegations of suspected inappropriate conduct. If the Independent Assessor chooses to refer the matter to the Council to deal with, the Council must deal with the matter as quickly and effectively as possible.

Misconduct

Councillors are required to comply with all laws that apply to Local Governments. This includes refraining from engaging in ***misconduct***.

The Independent Assessor is responsible for assessing and investigating instances of suspected misconduct. The Independent Assessor may then refer the matter to the Councillor Conduct Tribunal to be heard and determined.

The conduct of a Councillor is misconduct if the conduct:

- adversely affects, directly or indirectly, the honest and impartial performance of the Councillor's functions or exercise of powers, or
- is, or involves:
 - a breach of trust placed in the Councillor
 - misuse of information or material acquired by the Councillor, whether the misuse is for the benefit of the Councillor or for the benefit or to the detriment of another person
 - a Councillor giving a direction to any Council employee (other than the Mayor giving direction to the Chief Executive Officer and senior executive employees)
 - a release of confidential information outside of the Council
 - failure by a Councillor to report a suspected material personal interest, conflict of interest or perceived conflict of interest of another Councillor, or
- is a failure by the Councillor to comply with:
 - an order made by the Council or Tribunal
 - any acceptable request guidelines of the Council made under section 170A of the Act
 - the reimbursement of expenses policy of the Council.

The conduct of a Councillor is also misconduct if the conduct leads to the Councillor being disciplined for inappropriate conduct on three occasions within a period of one year, or is conduct that is identified in an order of Council that will be dealt with as misconduct if the Councillor engages in the conduct again.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)

Department of Local Government, Racing and Multicultural Affairs



Corrupt conduct

Corrupt conduct is defined by, and dealt with, under the *Crime and Corruption Act 2001* and must be referred to the Crime and Corruption Commission. For a Councillor, corrupt conduct involves behaviour that:

- adversely affects or could adversely affect the performance of the Councillors responsibilities, and
- involves the performance of the Councillors responsibilities in a way that:
 - is not honest or impartial, or
 - involves a breach of the trust placed in the Councillor, or
 - involves the misuse of information acquired by the Councillor, and
- is engaged in for the purpose of providing a benefit or a detriment to a person, and
- if proven would be a criminal offence.

More information

The Department's website provides further information and resources for Councillors.

The Department also provides and facilitates training for Councillors and Council employees to assist them to develop the knowledge, skills and understanding necessary to undertake their roles and responsibilities effectively and in the best interests of their communities.

For more information, please contact your regional office within Local Government and Regional Services in the Department on:

Telephone: 13 QGOV (13 74 68)

Post: PO Box 15009, City East, Queensland 4002

Website: www.dlgrma.qld.gov.au

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 19
Agenda

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)

Department of Local Government, Racing and Multicultural Affairs
Level 12, 1 William Street, Brisbane, Queensland 4000
tel 13 QGOV (13 74 68)

www.dlgrma.qld.gov.au

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 19
Agenda

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)

#2 DRAFT MBRC Meeting Procedures



Moreton Bay Regional Council - Meeting Procedures

Head of Power

Local Government Act 2009

Purpose of Meeting Procedures

The purpose of these Meeting Procedures is to ensure the Local Government principles as outlined in section 4 of the *Local Government Act 2009* (LGA) are reflected in the conduct of Local Government meetings and Local Government committee meetings.

It is noted that these Meeting Procedures do not deal with all aspects of meeting conduct but only those required to strengthen public confidence in Local Government to deal with the conduct of Councillors in meetings.

Background

In particular, as required under section 150F of the LGA these procedures set out:

- the process for how a Chairperson of a Local Government meeting may deal with instances of unsuitable meeting conduct by Councillors.
- the process for how suspected inappropriate conduct of a Councillor referred to the local government by the Independent Assessor (the Assessor) is to be dealt with at a Local Government meeting.

Application

Pursuant to section 150F of the LGA, Council must either adopt the Model Meeting Procedures (as provided by the Department of Local Government, Racing & Multicultural Affairs (the Department) on 8 November 2018 (A17814741)), or prepare and adopt other procedures for the conduct of its meetings and meetings of its committees that are consistent with the Model Meeting Procedures.

A Local Government must conduct its meetings in a manner that is consistent with either the Model Meeting Procedures or its own procedures.

The Moreton Bay Regional Council Meeting Procedures are in accordance with Department's Model Meeting Procedures dated 8 November 2018.

Meeting Procedures

Processes

1. Process for dealing with unsuitable meeting conduct by a Councillor in a meeting

When dealing with an instance of unsuitable conduct by a Councillor in a meeting, the following procedures must be followed:

- 1.1 The Chairperson must decide whether or not unsuitable meeting conduct has been displayed by a Councillor.
- 1.2 If the Chairperson decides the unsuitable meeting conduct has occurred, the Chairperson must consider the severity of the conduct and whether the Councillor has had any previous warnings for unsuitable meeting conduct issued. If the Chairperson decides the conduct is of a serious nature, refer to 1.7 for the steps to be taken.
- 1.3 If the Chairperson decides unsuitable meeting conduct has occurred but is of a less serious nature, the Chairperson may request the Councillor take remedial actions such as:

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Moreton Bay Regional Council - Meeting Procedures

- 1.3.1 Ceasing the unsuitable meeting conduct and refraining from exhibiting the conduct
- 1.3.2 Apologising for their conduct
- 1.3.3 Withdrawing their comments.

- 1.4 If the Councillor complies with the Chairperson's request for remedial action, no further action is required.

- 1.5 If the Councillor fails to comply with the Chairperson's request for remedial action, the Chairperson may warn the Councillor that failing to comply with the request may result in an order being issued.

- 1.6 If the Councillor complies with the Chairperson's warning and request for remedial action, no further action is required.

- 1.7 If the Councillor still continues to fail to comply with the Chairperson's request for remedial actions, the Chairperson may make one or more of the orders below:
 - 1.7.1 an order reprimanding the Councillor for the conduct
 - 1.7.2 an order requiring the Councillor to leave the meeting, including any area set aside for the public and stay out for the duration of the meeting.¹

- 1.8 If the Councillor fails to comply with an order to leave and stay away from the meeting, the Chairperson can issue an order that the Councillor be removed from the meeting by an appropriate officer. The meeting must be adjourned whilst the Councillor is being removed.²

- 1.9 Following the completion of the meeting, the Chairperson must ensure:
 - 1.9.1 details of any order issued is recorded in the minutes of the meeting³
 - 1.9.2 if it is the third (3rd) or more order within a 12-month period made against a Councillor or the Councillor has refused to leave following an order issued to leave the meeting, these matters are to be dealt with at the next meeting of the Local Government and treated as inappropriate conduct pursuant to the LGA⁴
 - 1.9.3 the Local Government's Chief Executive Officer is advised to ensure details of any order made must be updated in the Local Governments Councillor Conduct Register pursuant to the LGA.

Any Councillor aggrieved with an order issued by the Chairperson can move a motion of dissent for parts 1.1, 1.7 and 1.8 above.

¹ Section 150I(2) of the Act

² Section 150I(2)(c) of the Act

³ Section 150I(3) of the Act

⁴ Section 150J of the Act

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Moreton Bay Regional Council - Meeting Procedures

2. Meeting process for dealing with suspected Inappropriate Conduct which has been referred to a Local Government

Pursuant to section 150AF of the LGA, after receiving a referral by the Independent Assessor or under paragraph 1.9.2 of this document of an instance of suspected inappropriate conduct, the Local Government must complete an investigation into the alleged conduct.

After the completion of the investigation, the Local Government must decide whether the Councillor has engaged in inappropriate conduct in a Council meeting, unless it has delegated responsibility for this decision under section 257 of the LGA.

When dealing with an instance of suspected inappropriate conduct which has been referred to a Local Government by the Independent Assessor, the Local Government must:

- 2.1 Be consistent with the Local Government principle of transparent and accountable decision making in the public interest, by dealing with suspected inappropriate conduct in an open meeting of the Council. Where the complainant or other parties may be adversely affected due to the nature of the complaint, the Council may resolve to go into closed session under section 275 of the Local Government Regulation 2012 (the LGR).
- 2.2 When deliberating on the issue the subject Councillor must leave the place where the meeting is being held, including any area set aside for the public. Should the complainant be a Councillor, that Councillor must inform the meeting of a personal interest and follow the conflict of interest procedures in Section 4.
- 2.3 The Local Government should then debate the issue and decide whether the accused Councillor engaged in inappropriate conduct.
- 2.4 If the Local Government decides that the subject Councillor has engaged in inappropriate conduct, the Local Government is then required to decide what penalty or penalties from the following orders, if any, to impose on the subject Councillor:
 - 2.4.1 an order that the Councillor make a public admission that the Councillor has engaged in inappropriate conduct
 - 2.4.2 an order reprimanding the Councillor for the conduct
 - 2.4.3 an order that the Councillor attend training or counselling to address the Councillor's conduct, including at the Councillor's expense
 - 2.4.4 an order that the Councillor be excluded from a stated Local Government meeting
 - 2.4.5 an order that the Councillor is removed, or must resign, from a position representing the Local Government, other than the office of Councillor, for example, the Councillor is ordered to resign from an appointment representing the Local Government on a State board or committee
 - 2.4.6 an order that if the Councillor engages in the same type of conduct again, it will be treated as misconduct
 - 2.4.7 an order that the Councillor reimburse the Local Government for all or some of the costs arising from the Councillor's inappropriate conduct.
- 2.5 When making an order, the Local Government can take into consideration any previous inappropriate conduct of the Councillor, and any allegation made in the investigation that was admitted, or not challenged and that the Local Government is reasonably satisfied is true.
- 2.6 The subject Councillor and where relevant the complainant Councillor, must be invited back into the place where the meeting is being held once a decision has been made.
- 2.7 The Local Government must ensure the meeting minutes reflect the resolution made.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Moreton Bay Regional Council - Meeting Procedures

3. Material Personal Interest

Councillors are ultimately responsible for informing of a material personal interest on matters to be discussed at a Council or committee meeting. When dealing with a material personal interest, Councillors must abide by the following procedures:

- 3.1 A Councillor with a material personal interest must inform the meeting of the Local Government of their material personal interest and set out the nature of the interest, including:
 - 3.1.1 The name of the person or other entity who stands to gain a benefit, or suffer a loss, depending on the outcome of the consideration of the matter at the meeting
 - 3.1.2 How a person or other entity stands to gain the benefit or suffer the loss
 - 3.1.3 If the person or other entity who stands to gain the benefit or suffer the loss is not the Councillor – the nature of the Councillor’s relationship to the person or entity.
- 3.2 The Councillor must then leave the place of the meeting and stay away while the matter is being discussed and voted on unless the subject Councillor has Ministerial approval to participate in the matter. The Councillor must not influence or attempt to influence the remaining Councillors to vote on the matter in a particular way.
- 3.3 Once the Councillor has left the area where the meeting is being conducted, the Local Government can continue discussing and deciding on the matter at hand.
- 3.4 If a Councillor at a meeting reasonably believes, or reasonably suspects that another Councillor has a material personal interest in a matter to be discussed at the meeting and has not informed the meeting about the interest, the Councillor must advise the Chairperson of the meeting, as soon as practicable, about their belief or suspicion, and the facts and circumstances that form the basis of the belief or suspicion.
- 3.5 The Chairperson then should ask the Councillor with the suspected material personal interest whether they do in fact have a material personal interest. If that is the case, the Councillor must follow the above procedures from item 3.1.
- 3.6 In the event the majority of Councillors inform a meeting of a material personal interest regarding a matter:
 - 3.6.1 the Local Government must resolve to delegate the consideration and decision on the matter, pursuant to section 257 of the LGA; or
 - 3.6.2 if the matter cannot be delegated under section 257 of the LGA, the Local Government should seek Ministerial approval for the Councillors to be able to consider and vote on the matter, subject to any conditions the Minister for Local Government may impose.
- 3.7 Where a Councillor informs a meeting of a material personal interest in a matter, the Chairperson must ensure the minutes of the meeting (to be posted on the Council’s website) record:
 - 3.7.1 The name of the Councillor who has a material personal interest in the matter
 - 3.7.2 The material personal interest, including the particulars mentioned by the Councillor regarding the material personal interest
 - 3.7.3 Whether the Councillor participated in the meeting, or was present during the meeting, under an approval granted by the Minister for Local Government.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Moreton Bay Regional Council - Meeting Procedures

4. Conflict of Interest

Councillors are ultimately responsible for informing of any personal interest where they have a real or perceived conflict of interest on matters to be discussed at Council or committee meetings (other than ordinary business matters). When dealing with a conflict of interest, Councillors must abide by the following procedures:

- 4.1 A Councillor with a real or perceived conflict of interest must inform the meeting of the Local Government of their personal interest and set out the nature of the interest, including:
 - 4.1.1 The nature of the interest
 - 4.1.2 If the Councillor's personal interest arises because of the Councillor's relationship with, or receipt of a gift or benefit from, another person:
 - 4.1.2.1 the name of the other person
 - 4.1.2.2 the nature of the relationship or value and date of receipt of the gift or benefit received, and
 - 4.1.2.3 the nature of the other person's interests in the matter.
- 4.2 The subject Councillor may themselves elect to leave the meeting while the matter is being discussed and voted on due to a perceived conflict of interest or conflict of interest. If the Councillor does not leave the meeting, they may advise the other Councillors why they believe they are able to act in the public interest while remaining in the meeting. This could include prior advice from the Integrity Commissioner on the personal interest.
- 4.3 The other Councillors entitled to vote at the meeting must then decide whether the subject Councillor has a conflict of interest (including a perceived conflict of interest) in the matter due to their personal interest. A Councillor who has declared a personal interest in relation to a matter, must not vote under section 175E(4) as to whether another Councillor may stay in the meeting.
- 4.4 If the other Councillors decide there is no conflict of interest or a perceived conflict of interest, the subject Councillor may remain in the meeting and the meeting may continue.
- 4.5 If the other Councillors decide there is a conflict of interest they must then decide whether the subject Councillor must leave the meeting while the matter is being discussed and voted on or can participate in the meeting in relation to the matter including voting on the matter. If the Councillor must leave the place of the meeting the Councillor must not influence or attempt to influence the remaining Councillors to vote on the matter in a particular way
- 4.6 When deciding whether a Councillor may stay in a meeting and vote following the decision of a conflict of interest, the other Councillors must consider significant variables including, but not limited to:
 - 4.6.1 The size or significance of the benefit the subject Councillor stands to receive or benefit
 - 4.6.2 The benefit the subject Councillor stands to receive versus the benefit the community stands to receive from the potential decision
 - 4.6.3 The closeness of any relationship the subject Councillor may have with a given person or group.
- 4.7 In making the decision under 4.6, it is irrelevant how the subject Councillor intended to vote on the issue or any other issue (if known or suspected).
- 4.8 If a Councillor at a meeting reasonably believes, or reasonably suspects that another Councillor has a real or perceived conflict of interest in a matter to be discussed at the meeting and has not informed the meeting about the interest, the Councillor must advise the Chairperson of the meeting, as soon as practicable, about their belief or suspicion, and the facts and circumstances that form the basis of the belief or suspicion.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Moreton Bay Regional Council - Meeting Procedures

- 4.9 The Chairperson then should ask the Councillor with the suspected conflict of interest to inform the meeting of any personal interest they have in the matter and follow the above procedures from item 4.1.
- 4.10 In the event the majority of Councillors inform of a personal interest in a matter:
- 4.10.1 the Local Government must resolve to delegate the consideration and decision on the matter, pursuant to section 257 of the LGA, or
 - 4.10.2 if the matter cannot be delegated under the section 257 of the LGA, the Local Government should seek Ministerial approval for the Councillors to be able to consider and vote on the matter, subject to any conditions the Minister for Local Government may impose.
- 4.11 Where a Councillor informs a meeting of a personal interest in a matter, the Chairperson must ensure the minutes of the meeting (to be posted on the Council's website) record:
- 4.11.1 The name of the Councillor who has declared the conflict of interest
 - 4.11.2 The nature of the personal interest, as described by the Councillor
 - 4.11.3 The decisions made under 4.3 and 4.5 above
 - 4.11.4 Whether the Councillor participated in the meeting under an approval by the Minister
 - 4.11.5 If the Councillor voted on the matter, how they voted
 - 4.11.6 How the majority of Councillors voted on the matter.

5. Closed Meetings

Local Government and standing committees may resolve that a meeting be closed to the public if its Councillors or members consider it necessary to discuss any of the following matters:

- Appointment, dismissal or discipline of employees
- Industrial matters affecting employees
- Local Government's budget
- Rating concessions or contracts proposed to be made by the Local Government or starting or defending legal proceedings involving the Local Government
- Any action to be taken by the Local Government under the Planning Act 2016 (PA), including applications made to it under the PA
- Business for which a public discussion would be likely to prejudice the interests of the Local Government or someone else or enable a person to gain a financial advantage.

A Local Government or committee must not make a resolution (other than procedural) in a closed session meeting. If a closed session includes attendance by teleconference, the Councillor/s attending by teleconference must maintain confidentiality by ensuring no other person can hear their conversation.

- 5.1 To take an issue into a closed session, the Local Government must first pass a resolution to do so.
- 5.2 In the interests of accountability and transparency, the Local Government must specify the nature of the matter to be discussed and the reasoning of the Councillors for going into closed session.
- 5.3 If the matter is known in advance, the agenda should clearly identify that the matter will be considered in closed session and name the topic to be discussed and a brief explanation of why it is deemed necessary to take the issue into closed session.
- 5.4 The minutes of a Local Government must detail the matter discussed and reasoning for discussing the matter in closed session. The Local Government must also ensure that it complies with the statutory obligations associated with recording of passed resolutions.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Moreton Bay Regional Council - Meeting Procedures

Related Documents

Code of Conduct for Councillors in Queensland
Council's Investigation Policy (2150-XXX)

Review Triggers

These Meeting Procedures should be reviewed internally for applicability, continuing effect and consistency with related documents and other legislative provisions when any of the following occurs:

- (1) The related documents are amended.
- (2) The related documents are replaced by new documents.
- (3) Amendments are made to the head of power which affect the scope and effect of these Meeting Procedures.
- (4) Other circumstances as determined from time to time by a resolution of Council.

Notwithstanding the above, these Meeting Procedures are to be reviewed after each quadrennial local government election for relevance and to ensure that its effectiveness is maintained.

Responsibility

This Policy is to be:

- (1) implemented by the Chief Executive Officer; and
- (2) reviewed and amended in accordance with the "Review Triggers" by the Chief Executive Officer

Moreton Bay Regional Council - Meeting Procedures			Official Version: A?
Document Control			
Version / Reviewed	Version Adoption (Council meeting / Minute Page) / Reviewed (revision comment)	Date	Word version reference
V1	Coordination Committee		A17867626

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)

#3 DRAFT Policy 2150-105 Investigation Policy



Policy: 2150-105

Investigation Policy

Head of Power

Local Government Act 2009

Related Legislation

Code of Conduct for Councillors in Queensland
Crime and Corruption Act 2001

Objective

This policy details how complaints about the inappropriate conduct of Councillors will be dealt with as required by the section 150AE of the *Local Government Act 2009* (the LGA).

However, this policy does not relate to more serious Councillor conduct.

Definitions

Assessor means the Independent Assessor appointed under section 150CV of the LGA.

behavioural standard means a standard of behaviour for Councillors set out in the Code of Conduct approved under section 150E of the LGA.

conduct includes -

- (a) failing to act; and
- (b) a conspiracy, or attempt, to engage in conduct.

Councillor conduct register means the register required to be kept by Council as set out in section 150DX of the LGA.

inappropriate conduct see section 150K of the LGA.

investigation policy, refers to this policy, as required by section 150AE of the LGA.

investigator means the person responsible under this investigation policy for carrying out the investigation of the suspected inappropriate conduct of a Councillor or Mayor.

LGA means the *Local Government Act 2009*.

local government meeting means a meeting of -

- (a) a local government; or
- (b) a committee of a local government.

misconduct see section 150L of the LGA.

model procedures see section 150F of the LGA.

natural justice – a set of principles to ensure fair and just decision making, including a fair hearing, an absence of bias, decisions based on evidence, and the proper examination of all issues.

referral notice see section 150AC of the LGA.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Policy: 2150-105 - Investigation Policy

Tribunal means the Councillor Conduct Tribunal as established under section 150DK of the LGA.

unsuitable meeting conduct see section 150H of the LGA.

Application

This policy applies to investigations and determinations of a complaint about the alleged inappropriate conduct of a Councillor/s which has been referred by the Independent Assessor.

Obligations and Responsibilities

Confidentiality:

Matters of suspected inappropriate conduct of a Councillor are confidential except as otherwise specifically provided for either in the LGA or this investigation policy.

Note: It must be kept in mind that the matter is an allegation only and not yet proven. Further, there will be circumstances where the detail of the referral will need to remain confidential to the Local Government. Any release of confidential information that a Councillor knows, or should reasonably know, to be confidential to the local government may be contrary to section 171(3) of the LGA and dealt with as misconduct.

Natural Justice:

Any investigation of suspected inappropriate conduct of a Councillor/s must be carried out in accordance with natural justice. An overview of the principles of natural justice follows.

"Natural justice" or procedural fairness, refers to three key principles:

- the person being investigated has a chance to have his or her say before adverse formal findings are made and before any adverse action is taken (fair hearing)
- the investigator(s) should be objective and impartial (absence of bias), and
- any action taken is based on evidence (not suspicion or speculation).

A fair hearing means the Councillor who is the subject of the suspected inappropriate conduct matter must be told of the case against them including any evidence and be provided with an opportunity to put their case in writing with the investigation report provided to the Councillors as part of the meeting agenda.

An absence of bias means that any investigation must not be biased or be seen to be biased in any way. This principle embodies the concept of impartiality.

Decisions based on evidence requires that the investigation should not be based on mere speculation or suspicion but instead must be based upon evidence material.

A proper examination of all issues means the investigation must give a proper and genuine consideration to each party's case.

Policy Statement

The Council may receive from the Assessor a referral notice about the suspected inappropriate conduct of a Councillor/s. Council may also receive referrals directly.

Receipt of Assessor's referral:

On receipt of a referral notice about the suspected inappropriate conduct of a Councillor/s from the Assessor, the Council's Chief Executive Officer will forward a copy of that referral notice to the Mayor and all Councillors as a confidential document.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Policy: 2150-105 - Investigation Policy

Should the Mayor or a Councillor/s (other than the subject of the complaint or the complainant) disagree with any recommendation accompanying the Assessor's referral notice or form the opinion that the complaint should be dealt with in a way other than under this policy, the Mayor or Councillor may request the matter be placed on the agenda of the next Council meeting to decide on the appropriate process to investigate the complaint. Such a request must be made in accordance with the Council's meeting procedure requirements.

Investigator:

Unless otherwise resolved by Council, the Mayor will manage the investigation of suspected inappropriate conduct of other Councillors.

If the suspected inappropriate conduct involves conduct that in the circumstances, the Mayor believes, it is in the best interests of the investigation to refer the matter for external investigation, then the Chief Executive Officer must refer the suspected inappropriate conduct to the President of the Tribunal to investigate and make recommendations to the Council about dealing with the conduct.

If the suspected inappropriate conduct involves:

- an allegation about the conduct of the Mayor, or
- the Mayor as the complainant, then

the Chief Executive Officer must refer the suspected inappropriate conduct to the President of the Tribunal to investigate and make recommendations to the Council about dealing with the conduct.

Early resolution:

Before beginning an investigation, the investigator must consider whether the matter is appropriate for resolution prior to the investigation. This consideration includes any recommendation made by the Assessor.

A matter is only appropriate for early resolution if the parties to the matter agree to explore early resolution.

The investigator may engage an independent person with suitable qualifications or experience to facilitate this process.

If the matter cannot be resolved, the matter will then be investigated as outlined in this investigation policy.

If the matter is resolved prior to investigation, the investigator will advise the Chief Executive Officer of this outcome. In turn, the Chief Executive Officer will advise the Mayor (if the Mayor is not the investigator) and all Councillors that the matter has been resolved. The Chief Executive Officer will also update the Councillor Conduct Register to reflect this.

Timeliness:

The investigator will make all reasonable endeavors to complete the investigation and provide a report for inclusion on the agenda of a Council meeting no more than eight weeks after the receipt of the complaint.

Note: If the investigator is of the opinion that it may take longer than eight weeks to complete the investigation, the matter should be raised with the Mayor (if the Mayor is not the investigator) to seek an extension of time.

Assistance for investigator:

If the Mayor is the investigator of a matter of suspected inappropriate conduct, the Mayor may use section 170A of the LGA to seek assistance during the investigation.

The Mayor is authorised by Council to expend money as reasonably needed to engage contractors in accordance with the Council's procurement policy

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Policy: 2150-105 - Investigation Policy

Possible misconduct or corrupt conduct:

If during the course of an investigation the investigator obtains information which indicates a Councillor/s may have engaged in misconduct, the investigator must cease the investigation and advise the Chief Executive Officer. The Chief Executive Officer will then notify the Assessor of the possible misconduct.

If during the course of an investigation, the investigator obtains information which indicates a Councillor/s may have engaged in corrupt conduct, the investigator must cease the investigation and advise the Chief Executive Officer. The Chief Executive Officer will then notify the Crime and Corruption Commission of the possible corrupt conduct.

Instances of suspected misconduct or corrupt conduct may be referred back to the Council if determined by the Assessor or Crime and Corruption Commission to be inappropriate conduct.

Completion of investigation:

On the completion of an investigation, the investigator will provide a report to the Council outlining the investigation process, the investigation findings, any recommendations about dealing with the conduct and a record of the investigation costs.

The Council will consider the findings and recommendations of the investigator's report and decide whether the Councillor has engaged in inappropriate conduct and, if so, what action it will take under section 150AH of the LGA.

Provisions for internal and external review of decisions are set out in sections 150CO to 150CS of the LGA.

Notice about the outcome of investigation:

After an investigation is finalised, the Council must give notice about the outcome of the investigation to the person who made the complaint about the Councillor/s' conduct that was the subject of the investigation.

Councillor conduct register:

The Chief Executive Officer of the respective Council must ensure decisions about suspected inappropriate conduct of a Councillor/s must be entered into the Councillor conduct register.

Where a complaint has been resolved under section 10 of this policy, the Chief Executive Officer will update the register to reflect that the complaint was withdrawn.

Expenses:

Council must pay any reasonable expenses of Council associated with the informal early resolution or investigation of suspected inappropriate conduct of a Councillor including any costs of:

- the president of the Tribunal in undertaking an investigation for Council;
- a mediator engaged under this investigation policy;
- a private investigator engaged on behalf of or by the investigator;
- travel where the investigator needed to travel to undertake the investigation or to interview witnesses;
- seeking legal advice; and
- engaging an expert.

Note: Council may order the subject Councillor reimburse it for all or some of the costs arising from the Councillor's inappropriate conduct.

Any costs incurred by complainants or the subject Councillors will not be met by Council.

ITEM 1.1 - NEW COUNCILLOR COMPLAINTS SYSTEM - CODE OF CONDUCT FOR COUNCILLORS IN QUEENSLAND, MEETING PROCEDURES AND INVESTIGATION POLICY - REGIONAL (Cont.)



Policy: 2150-105 - Investigation Policy

Related Documents

This policy complements and is to be implemented in conjunction with other Council policies and directive but not limited to:

Meeting Procedures

Review Triggers

This Policy is reviewed internally for applicability, continuing effect and consistency with related documents and other legislative provisions when any of the following occurs:

- (1) The related documents are amended.
- (2) The related documents are replaced by new documents.
- (3) Amendments are made to the head of power which affect the scope and effect of this Policy.
- (4) Other circumstances as determined from time to time by a resolution of Council.

Notwithstanding the above, this Policy is to be reviewed at least once every two years for relevance and to ensure that its effectiveness is maintained.

Responsibility

This Policy is to be:

- (1) implemented by the Chief Executive Officer; and
- (2) reviewed and amended in accordance with the "Review Triggers" by the Chief Executive Officer.

Policy: 2150-105		Official Version: A?	
Investigation Policy			
Document Control			
Version / Reviewed	Version Adoption (Council meeting / Minute Page) Reviewed (revision comment)	Date	Word version reference
V1	Coordination Committee		A17865051

SUPPORTING INFORMATION

Ref: [A17658549](#), [A17658735](#), [A17660927](#), [A17660997](#), [A17637904](#); [A17672226](#)

The following list of supporting information is provided for:

ITEM 2.1

DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9

#1 Aerial Photograph

#2 Locality Plan

#3 Zoning Map

#4 Proposed Site Plan

#5 Plans

#6 TMR Third Party Response

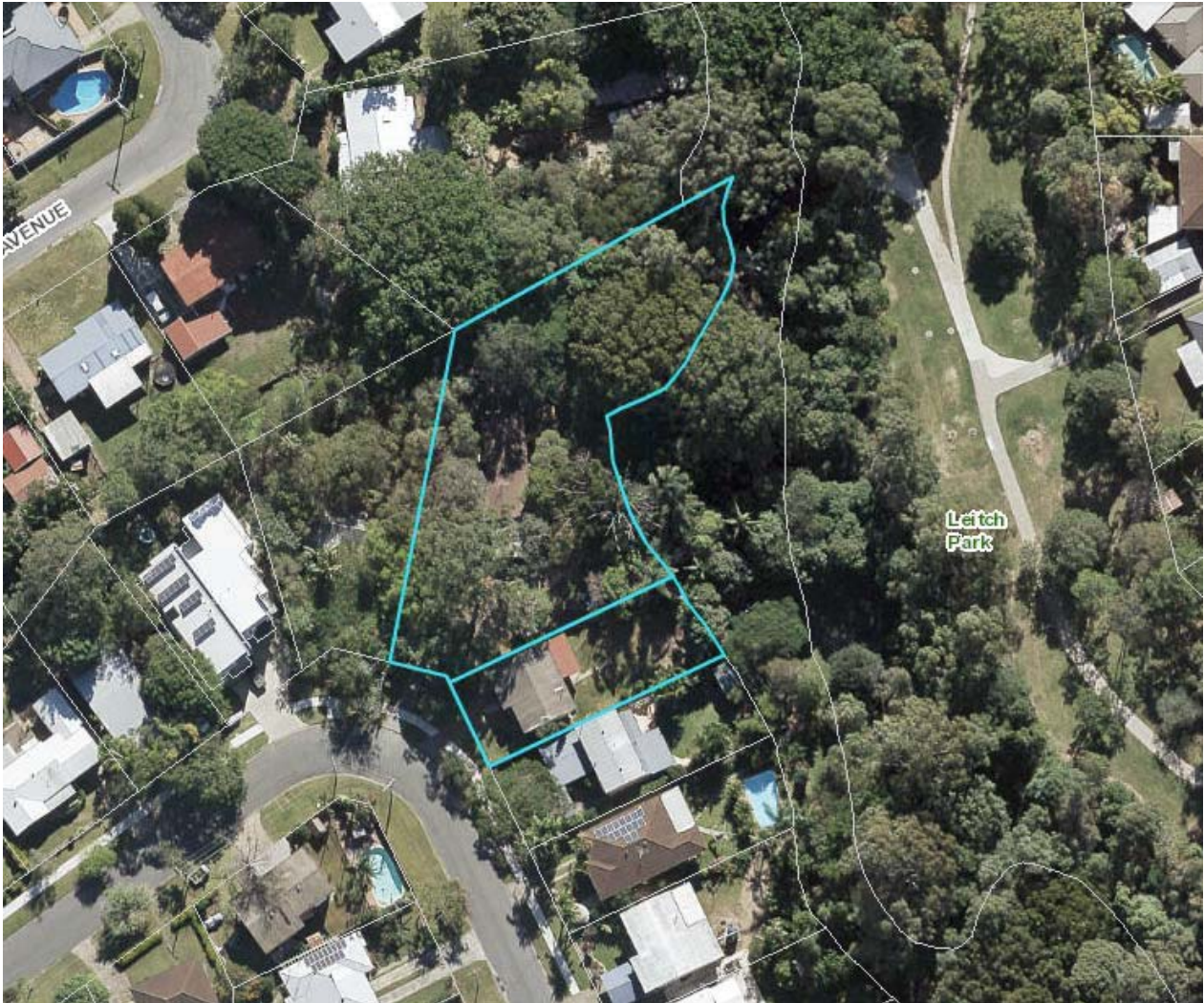
#7 Properly Made Submissions

#8 Not Properly Made Submissions

#9 Infrastructure Charges Notice

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS) 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

#1 Aerial Photograph



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS) 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

#2 Locality Plan



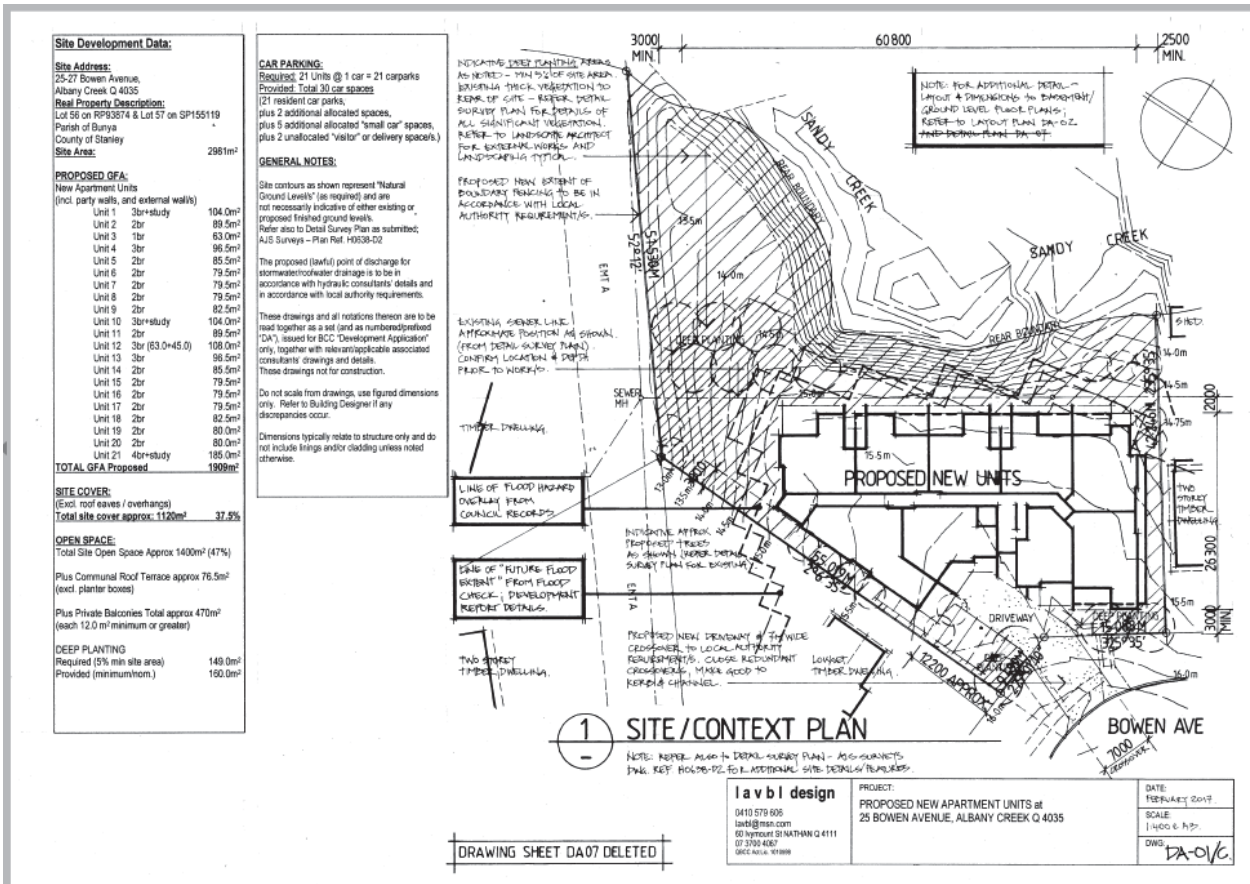
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS) 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

#3 Zoning Map



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS) 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

#4 Proposed Site Plan



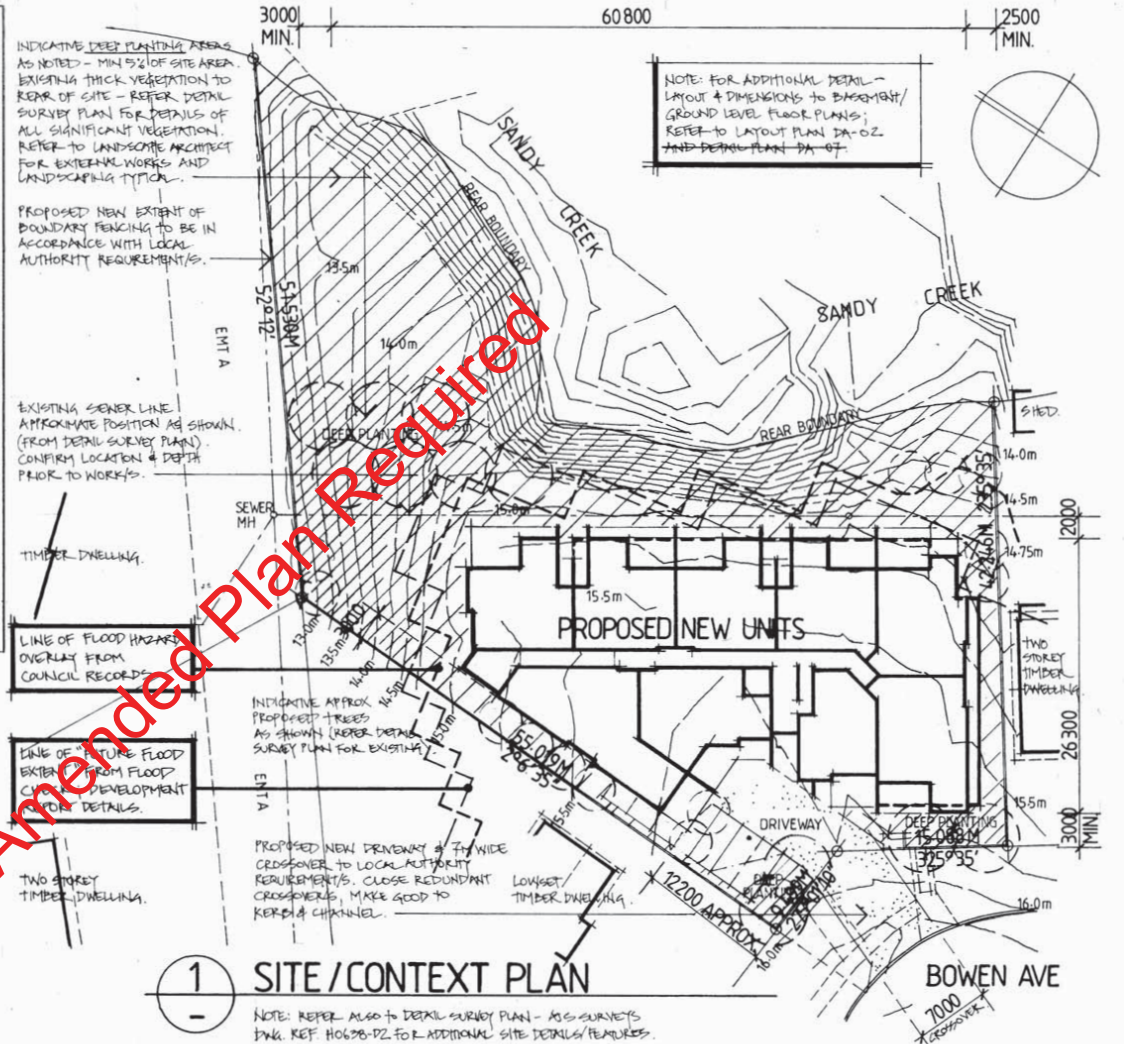
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

#5 Plans

Site Development Data:		
Site Address: 25-27 Bowen Avenue, Albany Creek Q 4035		
Real Property Description: Lot 56 on RP93874 & Lot 57 on SP155119 Parish of Bunya County of Stanley		
Site Area:	2981m ²	
PROPOSED GFA:		
New Apartment Units (incl. party walls, and external wall/s)		
Unit 1	3br+study	104.0m ²
Unit 2	2br	89.5m ²
Unit 3	1br	63.0m ²
Unit 4	3br	96.5m ²
Unit 5	2br	85.5m ²
Unit 6	2br	79.5m ²
Unit 7	2br	79.5m ²
Unit 8	2br	79.5m ²
Unit 9	2br	82.5m ²
Unit 10	3br+study	104.0m ²
Unit 11	2br	89.5m ²
Unit 12	3br (63.0+45.0)	108.0m ²
Unit 13	3br	96.5m ²
Unit 14	2br	85.5m ²
Unit 15	2br	79.5m ²
Unit 16	2br	79.5m ²
Unit 17	2br	79.5m ²
Unit 18	2br	82.5m ²
Unit 19	2br	80.0m ²
Unit 20	2br	80.0m ²
Unit 21	4br+study	185.0m ²
TOTAL GFA Proposed		1909m²
SITE COVER:		
(Excl. roof eaves / overhangs)		
Total site cover approx:	1120m ²	37.5%
OPEN SPACE:		
Total Site Open Space Approx 1400m ² (47%)		
Plus Communal Roof Terrace approx 76.5m ² (excl. planter boxes)		
Plus Private Balconies Total approx 470m ² (each 12.0 m ² minimum or greater)		
DEEP PLANTING		
Required (5% min site area)	149.0m ²	
Provided (minimum/nom.)	160.0m ²	

CAR PARKING:
Required: 21 Units @ 1 car = 21 carparks
Provided: Total 30 car spaces
(21 resident car parks,
plus 2 additional allocated spaces,
plus 5 additional allocated "small car" spaces,
plus 2 unallocated "visitor" or delivery space/s)

GENERAL NOTES:
Site contours as shown represent "Natural Ground Levels" (as required) and are not necessarily indicative of either existing or proposed finished ground levels.
Refer also to Detail Survey Plan as submitted; AJS Surveys - Plan Ref. H0638-D2
The proposed (lawful) point of discharge for stormwater/roofwater drainage is to be in accordance with hydraulic consultants' details and in accordance with local authority requirements.
These drawings and all notations thereon are to be read together as a set (and as numbered/prefixed "DA", issued for BCC "Development Application" only, together with relevant/applicable associated consultants' drawings and details.
These drawings not for construction.
Do not scale from drawings, use figured dimensions only. Refer to Building Designer if any discrepancies occur.
Dimensions typically relate to structure only and do not include linings and/or cladding unless noted otherwise.



1 SITE / CONTEXT PLAN

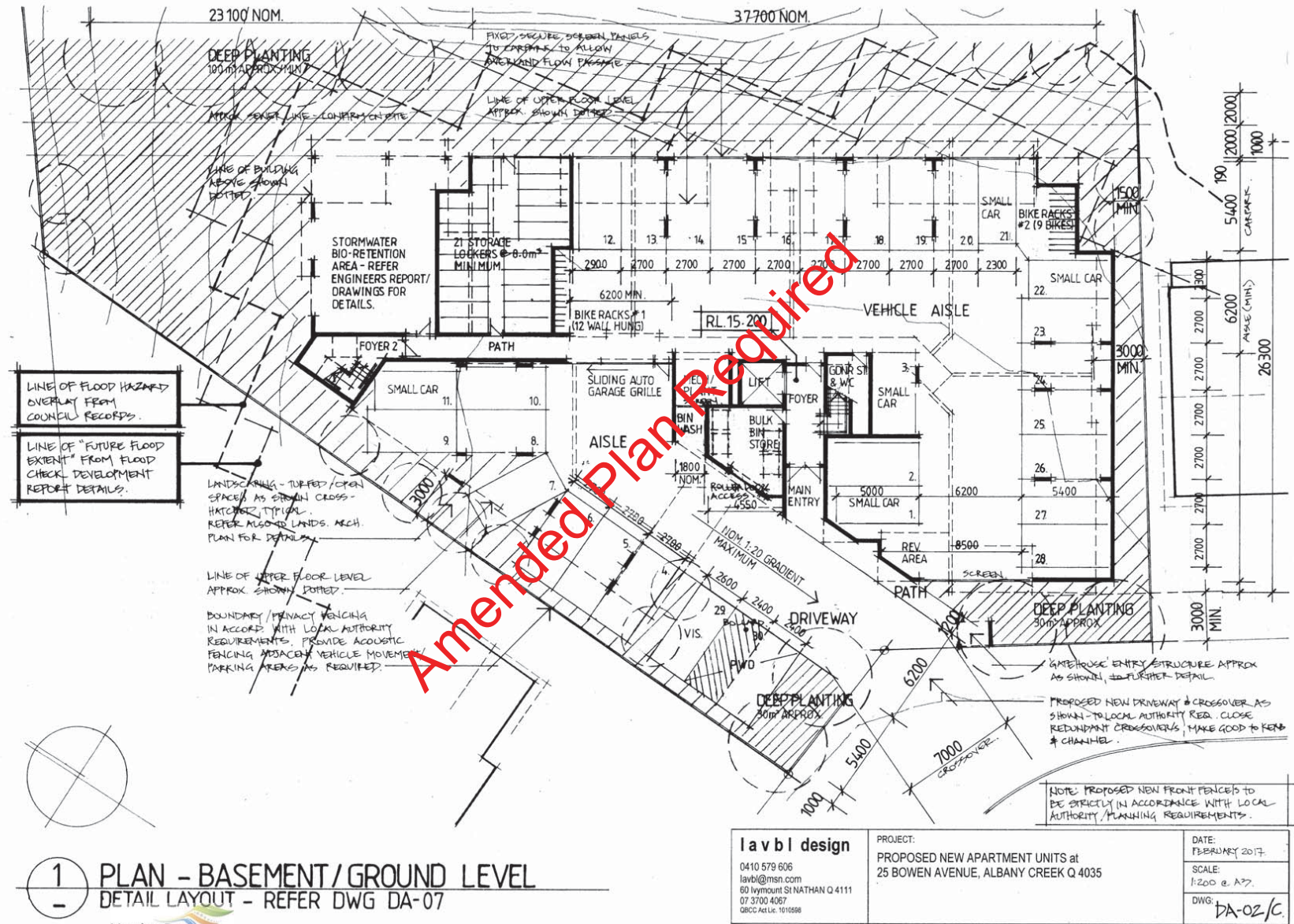
NOTE: REFER ALSO TO DETAIL SURVEY PLAN - AJS SURVEYS PLAN REF. H0638-D2 FOR ADDITIONAL SITE DETAILS/FEATURES.

lavbl design 0410 579 606 lavbl@msn.com 60 Ivy Mount St NATHAN Q 4111 07 3700 4067 QBCC Act Lic 1010988	PROJECT: PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	DATE: FEBRUARY 2017 SCALE: 1:400 & A3 DWG: DA-01/C
	DRAWING SHEET DA07 DELETED	

Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



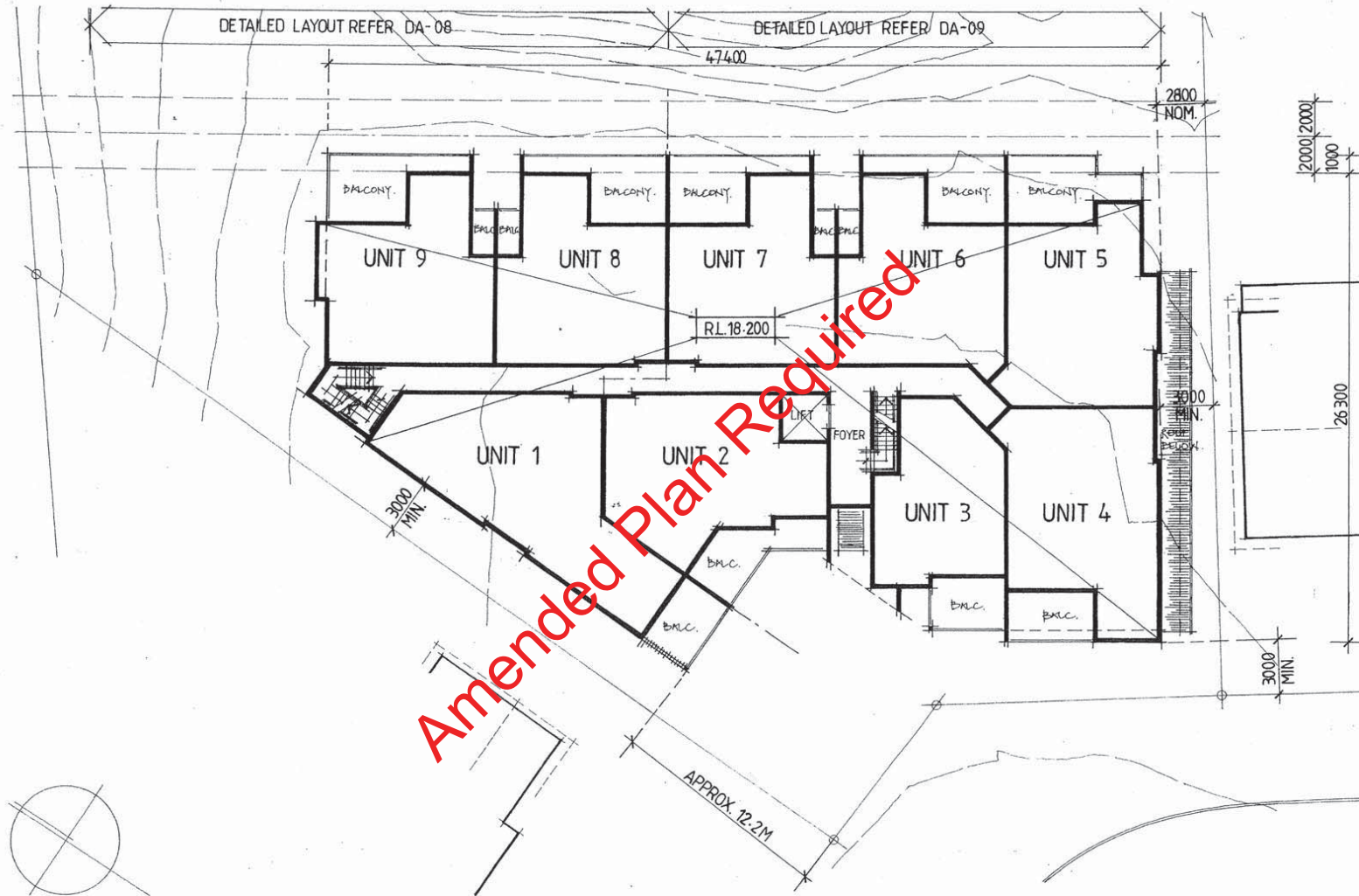
1 PLAN - BASEMENT/GROUND LEVEL
- DETAIL LAYOUT - REFER DWG DA-07

lavbl design 0410 579 606 lavbl@msn.com 60 Inymount ST NATHAN Q 4111 07 3700 4067 QBCC Act Lic: 1016598	PROJECT: PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	DATE: FEBRUARY 2017
		SCALE: 1:200 @ A3?
		DWG: DA-02/JC

Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



1 PLAN - LEVEL 1
- DETAIL LAYOUT - REFER DWG DA-08 & DA-09

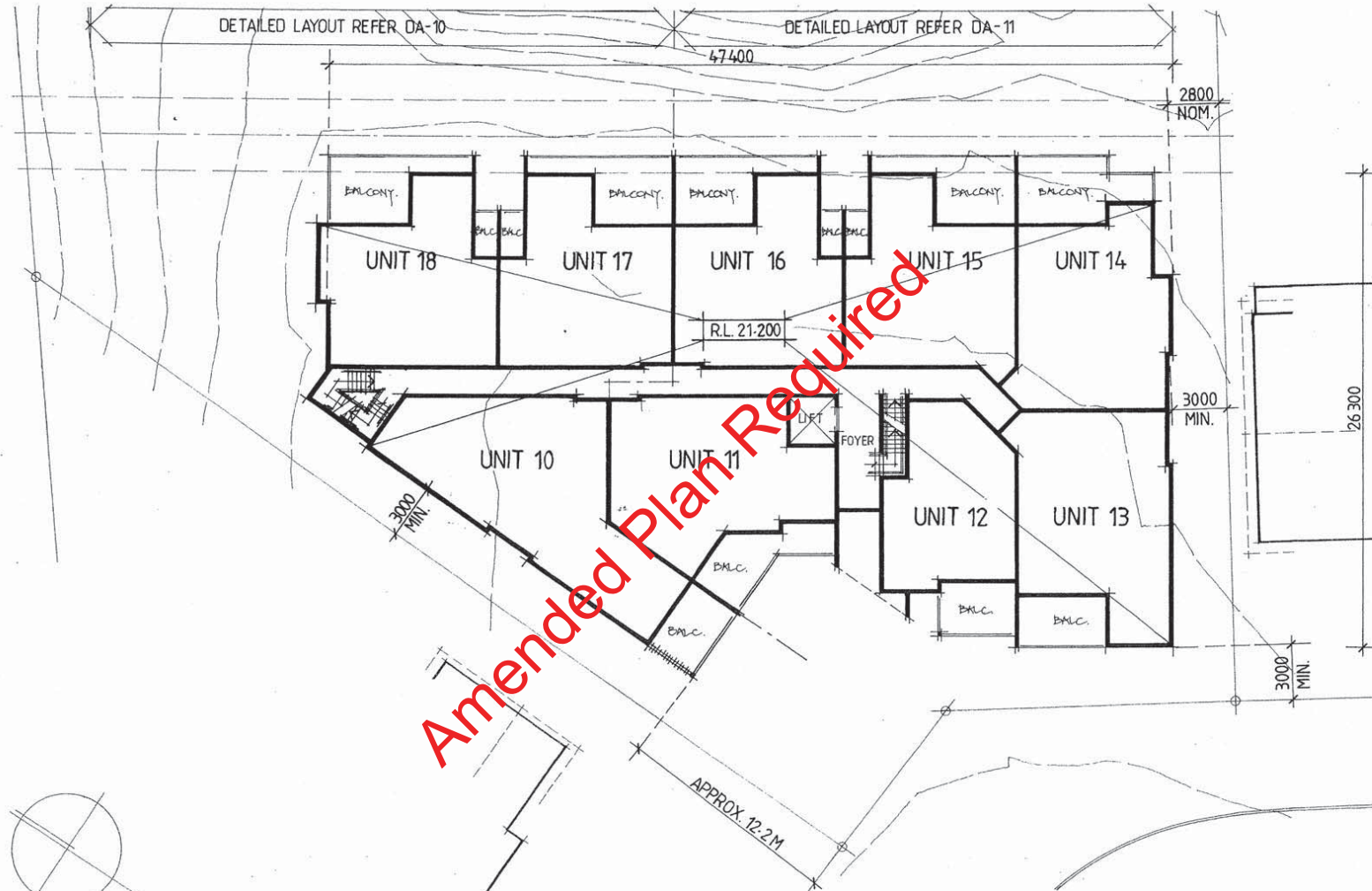
lavbl design 0410 579 606 lavbl@msn.com 60 Ivy Mount St NATHAN Q 4111 07 3700 4067 QBCC Act Lic 1010988	PROJECT: PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	DATE: FEBRUARY 2017.
		SCALE: 1:200 e.s.d.
		DWG: DA-03/B



Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



1 PLAN - LEVEL 2
- DETAIL LAYOUT - REFER DWG DA-10 & DA-11

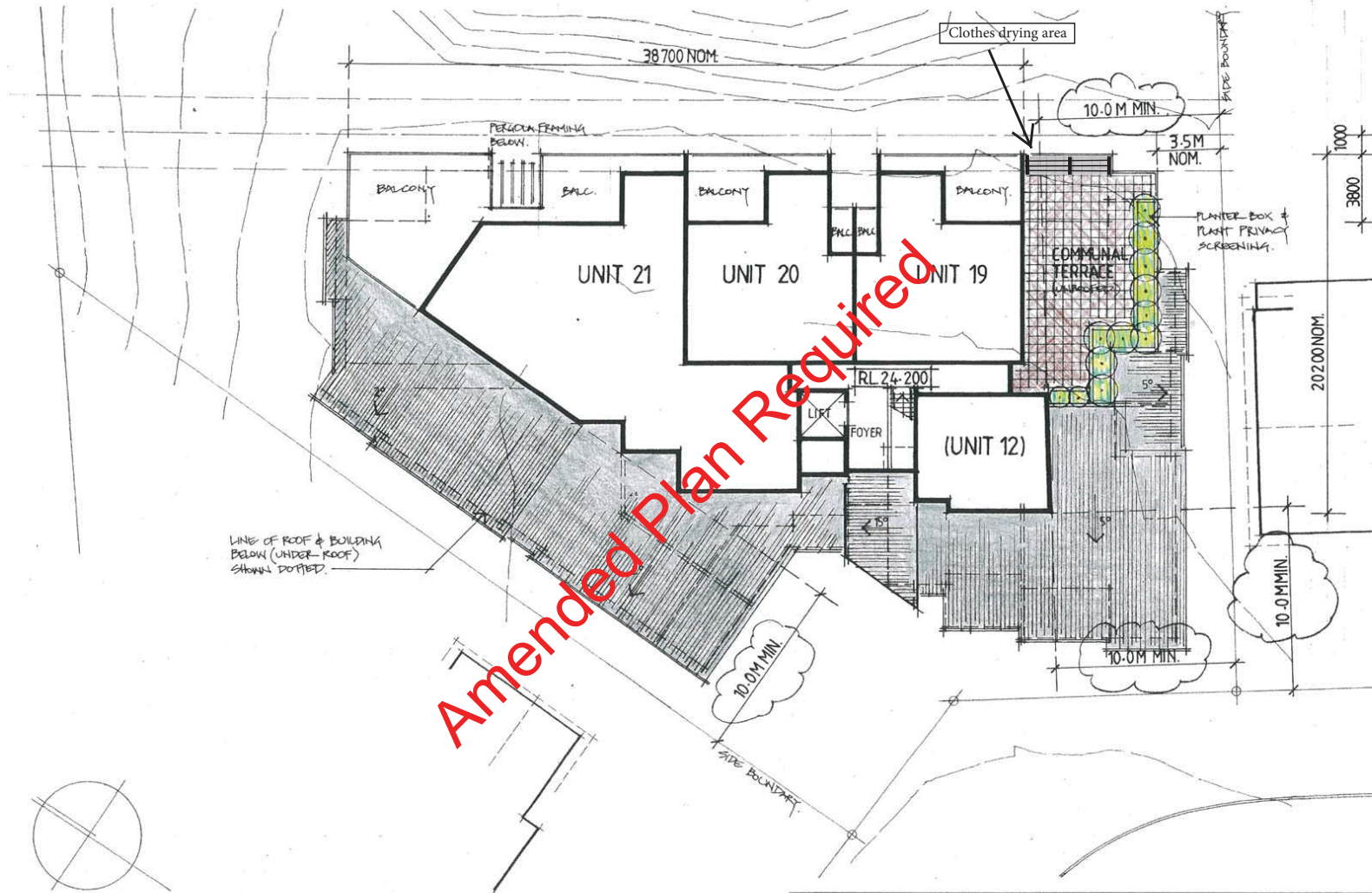
lavbl design 0410 579 806 lavbl@msn.com 60 Inyemount ST NATHAN Q 4111 07 3700 4067 QBCC Act Lic. 1010588	PROJECT:	DATE:
	PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	FEBRUARY 2017
	SCALE:	1:200 e A3.
	DWG:	DA-04/B



Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



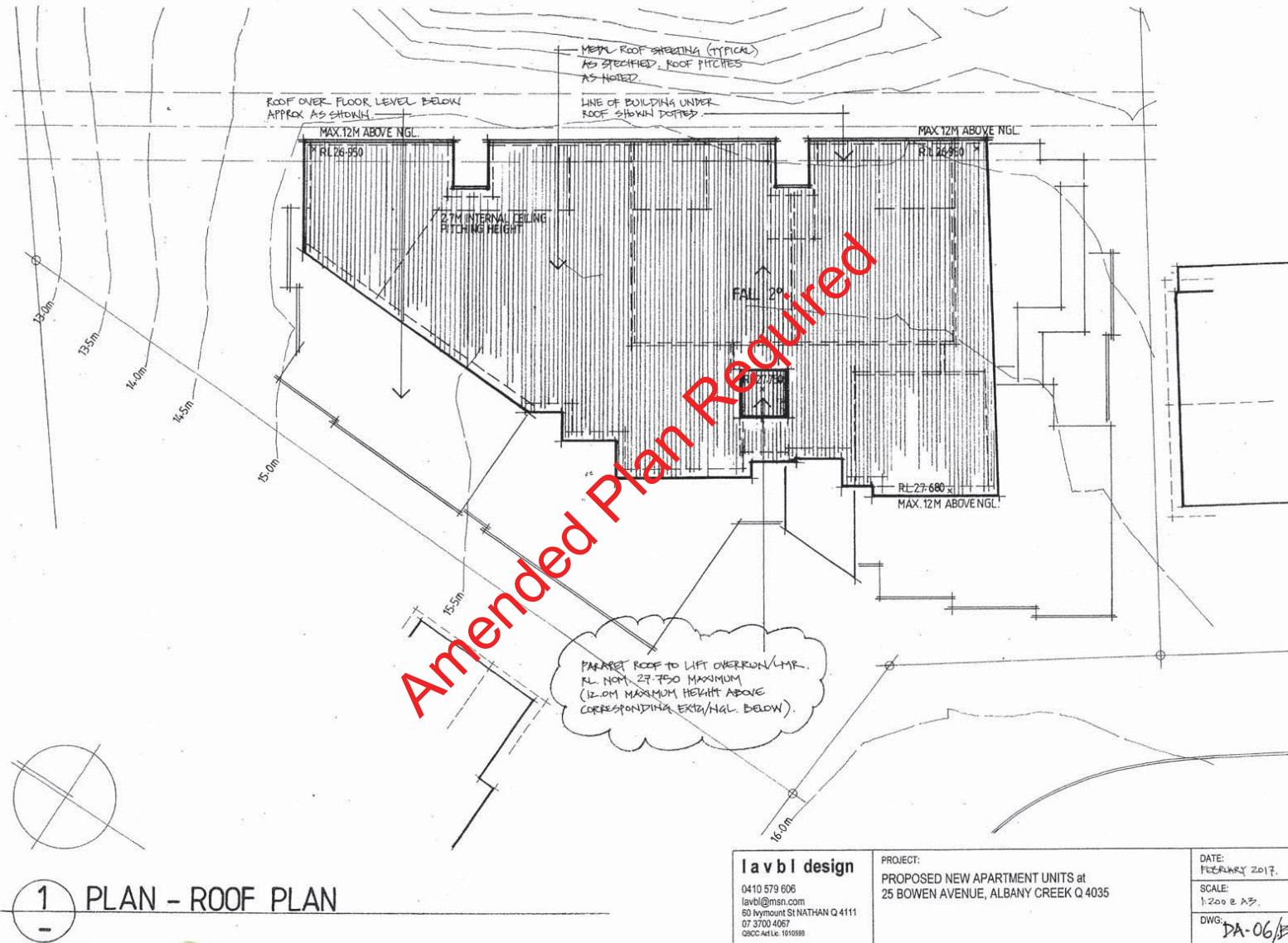
1 PLAN - LEVEL 3 / ROOF PLAN
- DETAIL LAYOUT - REFER DWG DA-12

lavbl design 0410 579 606 lavbl@msn.com 60 ivymount ST NATHAN Q 4111 07 3700 4057 QBCC Nat Lic: 1015698	PROJECT:	DATE:
	PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	FEBRUARY 2017
	SCALE:	1:200 & A3
	DWG:	DA-05/B

Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



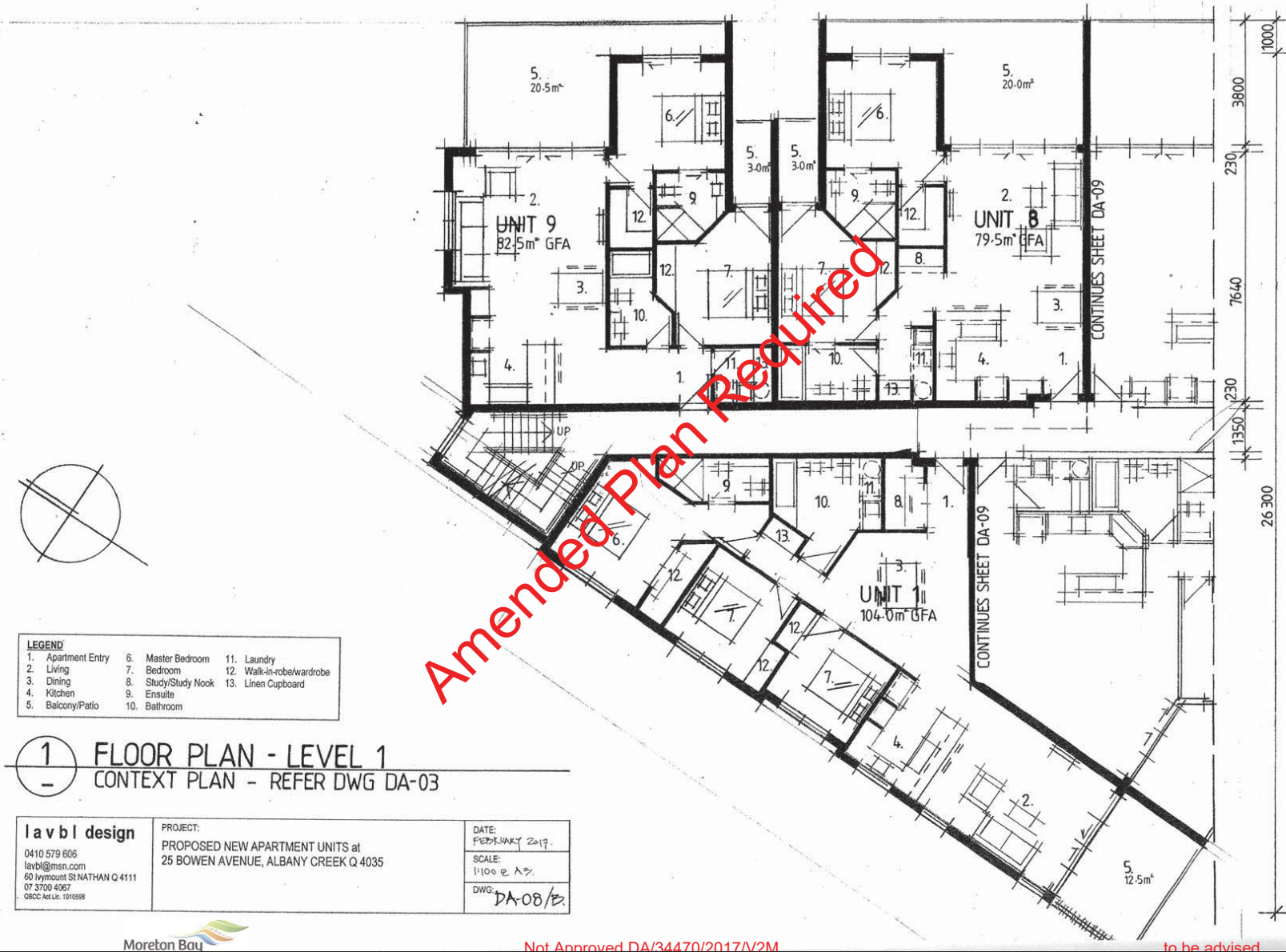
1 PLAN - ROOF PLAN

lavbi design 0410 579 606 lavbi@msn.com 60 Inverloch St NATHAN Q 4111 07 3700 4067 ORCC Act Lic: 1010598	PROJECT: PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	DATE: FEBRUARY 2017.
		SCALE: 1:200 @ A3.
		DWG: DA-06/13

Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

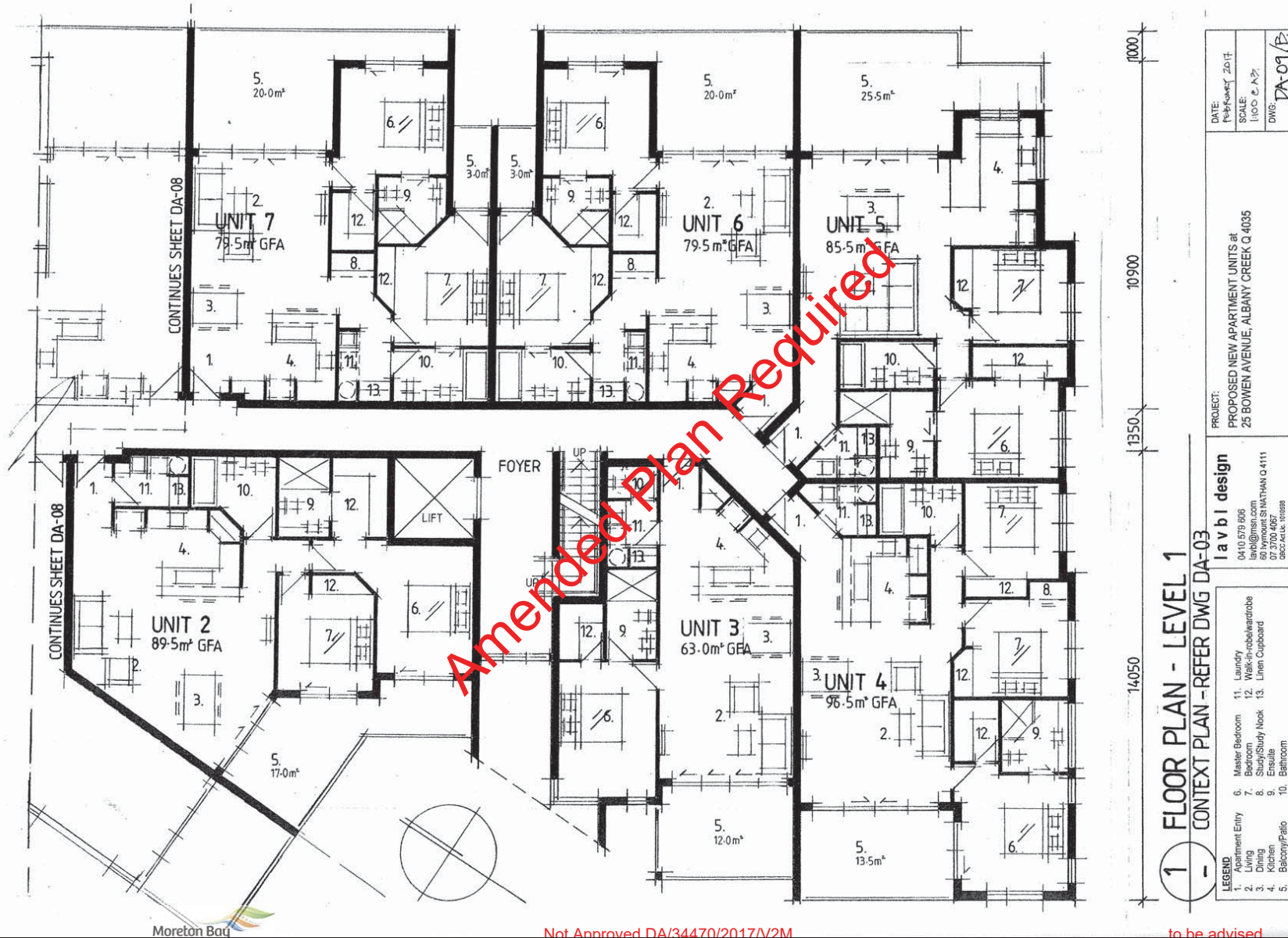


Amended Plan Required

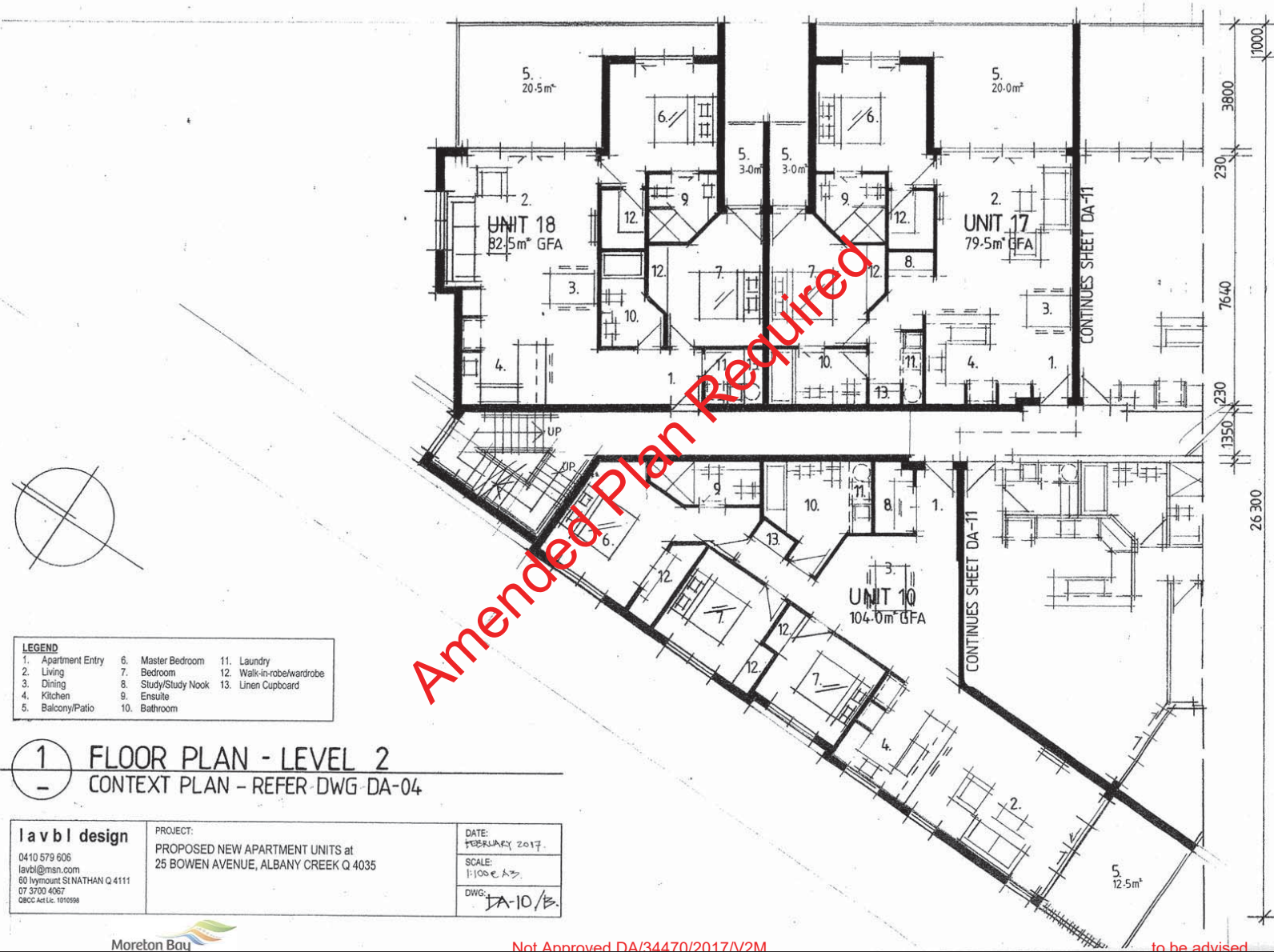
Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



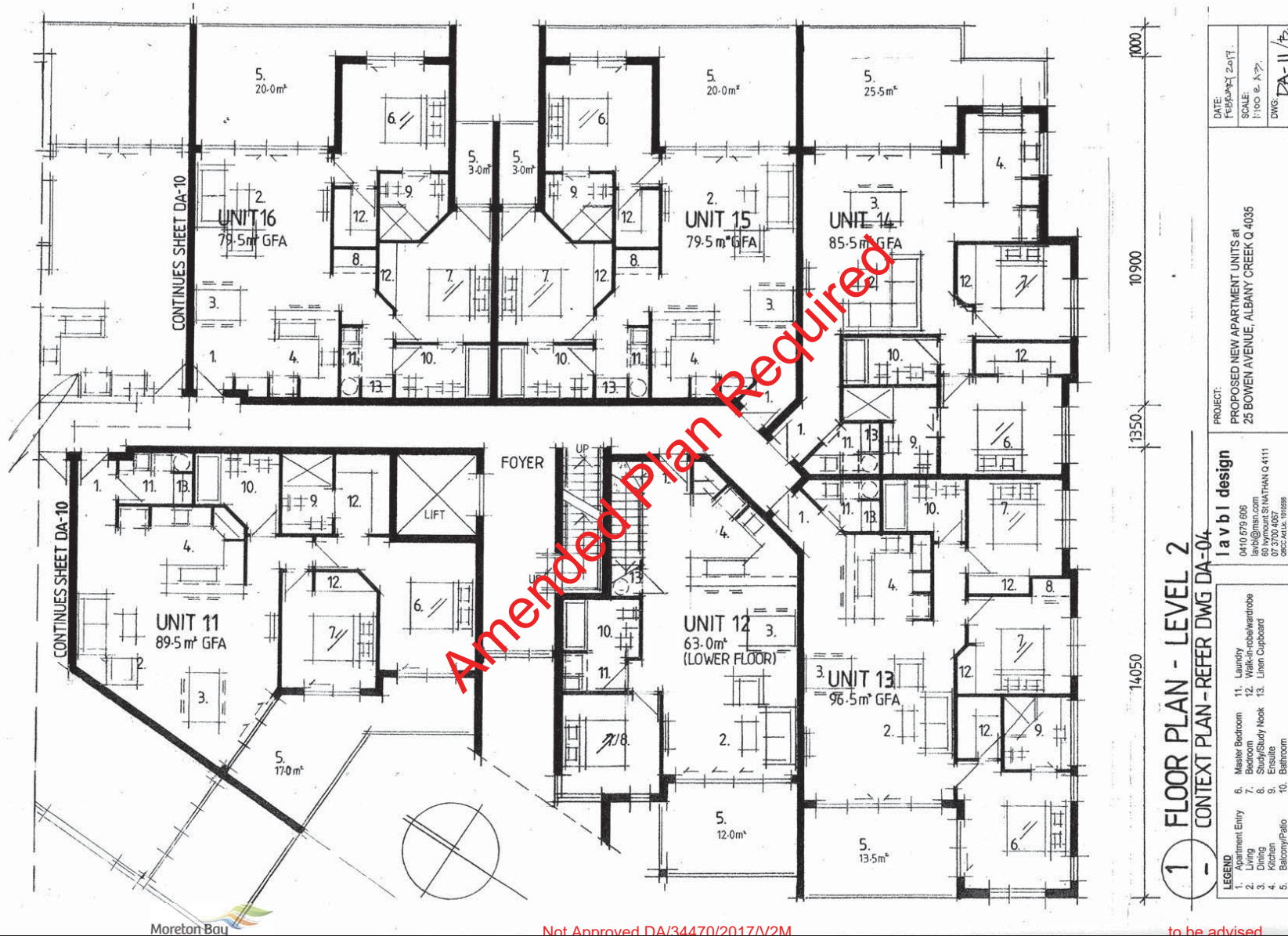
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



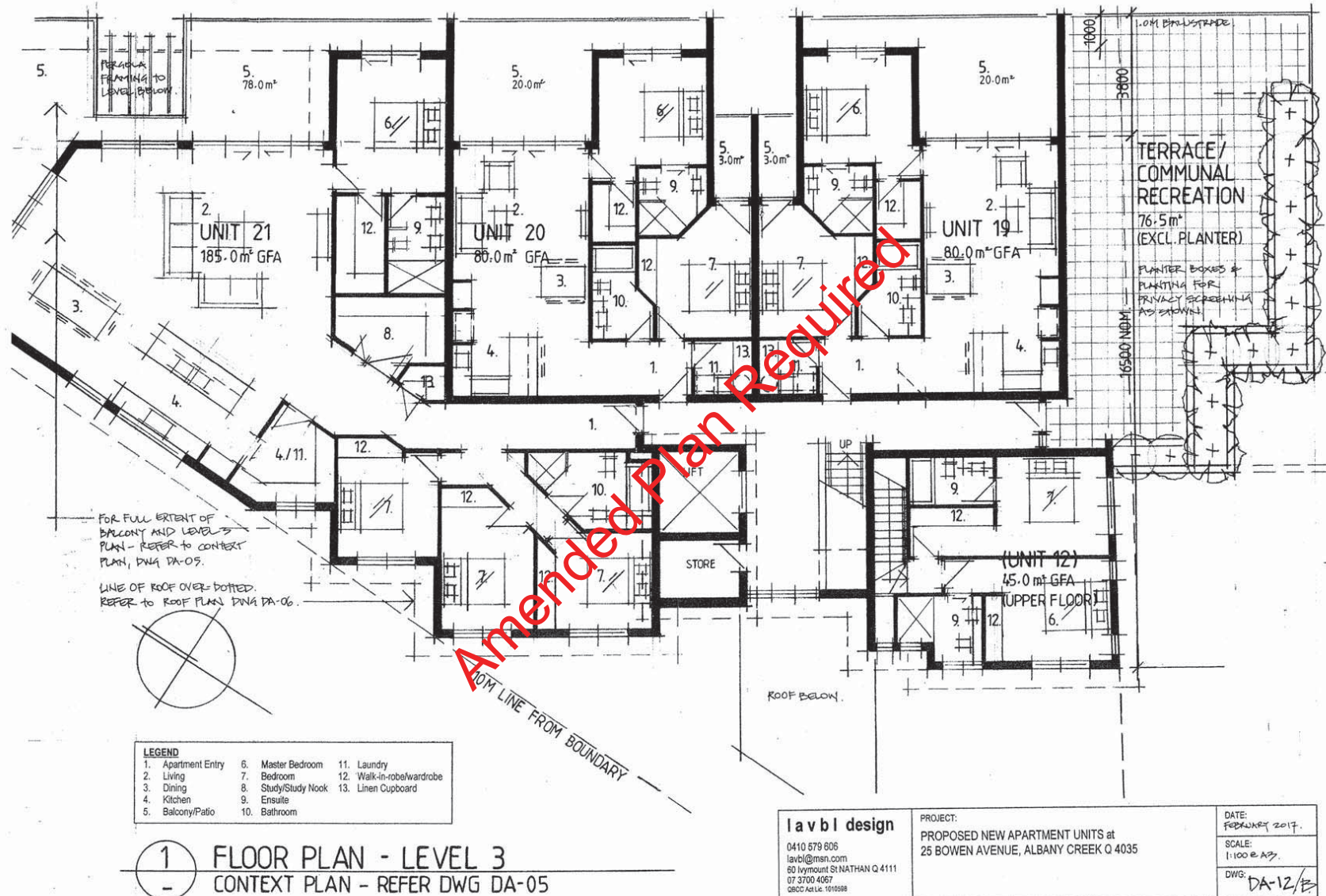
Not Approved DA/34470/2017/V2M

to be advised

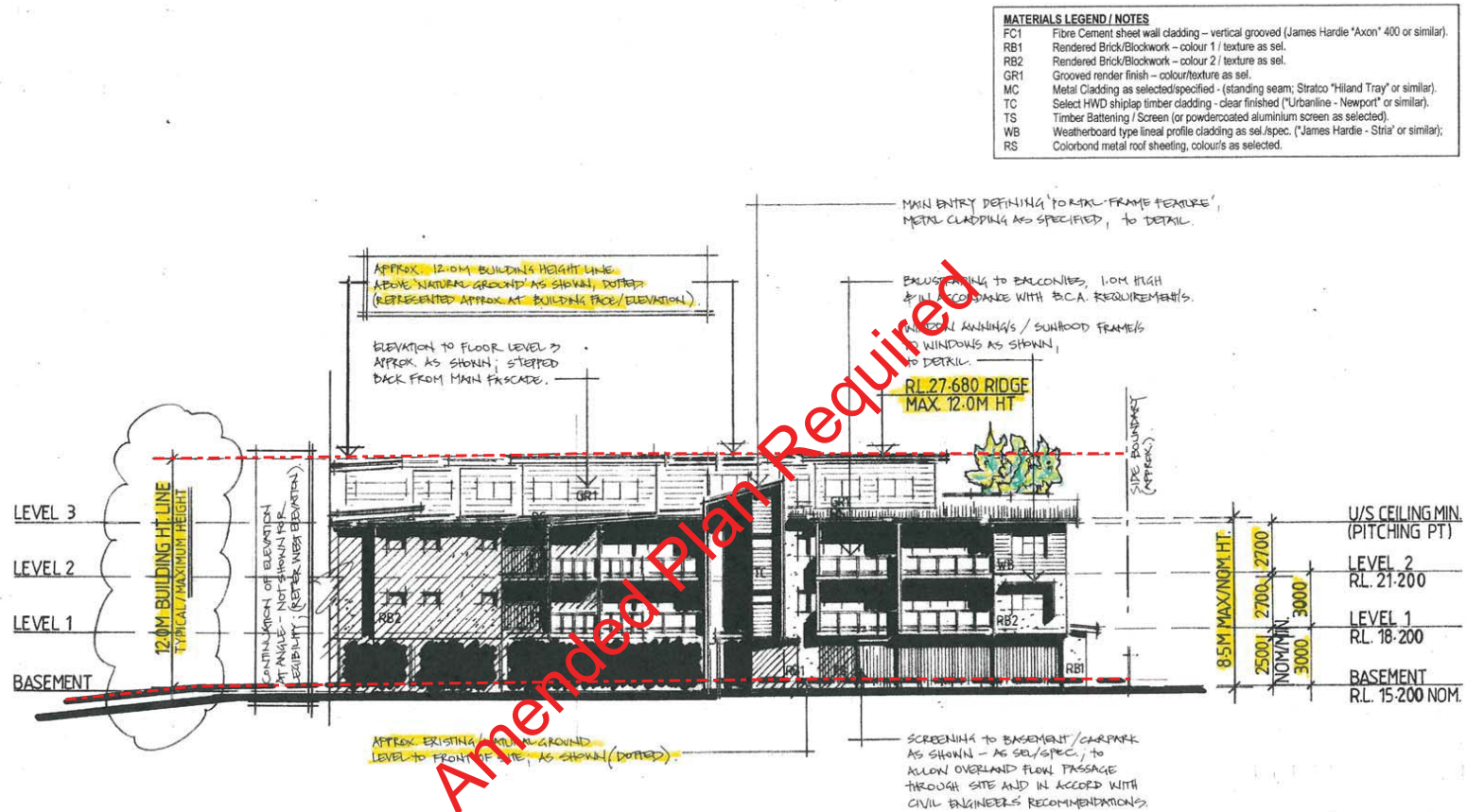
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



1 SOUTH-WEST ELEVATION (STREETSCAPE)

lavbl design 0410 579 606 lavbl@msn.com 60 Iymount St NATHAN Q 4111 07 3700 4067 <small>QBCC Act Lic: 1010598</small>	PROJECT: PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	DATE: MARCH 2017
	SCALE: 1:200 @ A3	DWG: DA 13/A

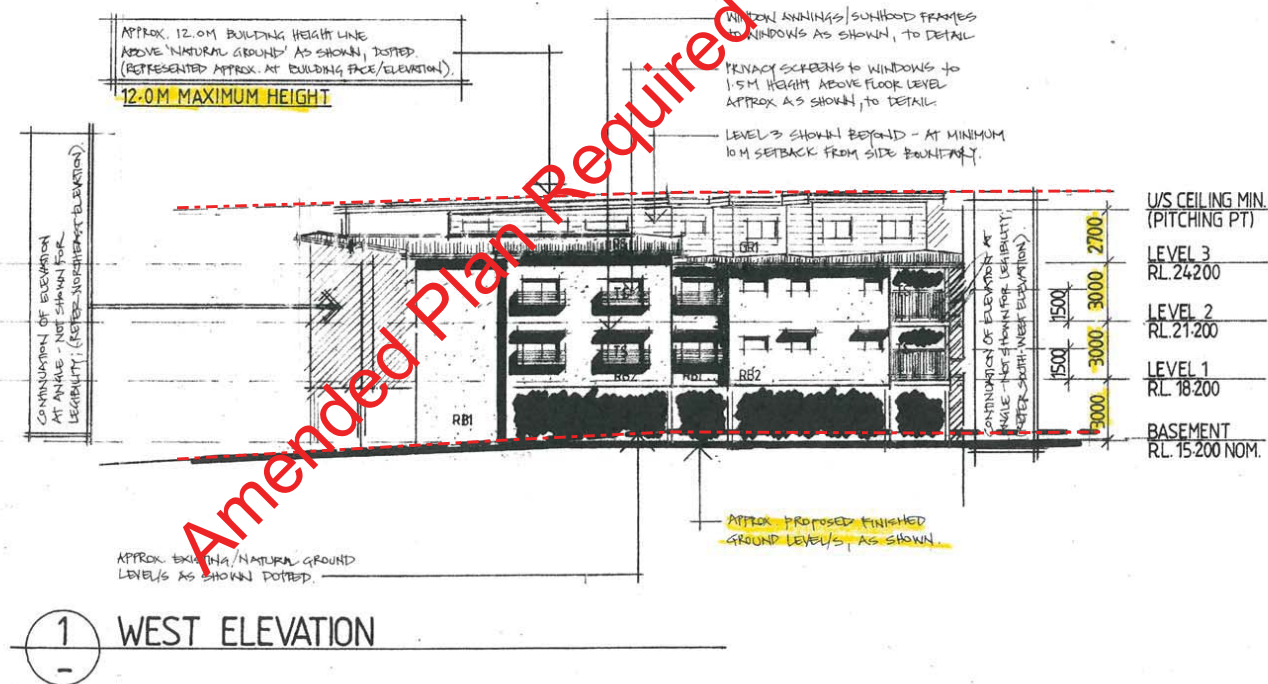


Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

MATERIALS LEGEND / NOTES	
FC1	Fibre Cement sheet wall cladding - vertical grooved (James Hardie 'Axon' 400 or similar).
RB1	Rendered Brick/Blockwork - colour 1 / texture as sel.
RB2	Rendered Brick/Blockwork - colour 2 / texture as sel.
GR1	Grooved render finish - colour/texture as sel.
MC	Metal Cladding as selected/specified - (standing seam: Stratoac 'Hiland Tray' or similar).
TC	Select HWD shiplap timber cladding - clear finished ('Urbanline - Newport' or similar).
TS	Timber Battening / Screen (or powdercoated aluminium screen as selected).
WB	Weatherboard type lineal profile cladding as sel./spec. ('James Hardie - Stria' or similar);
RS	Colorbond metal roof sheeting, colour/s as selected.



1 WEST ELEVATION

lavbl design 0410 579 606 lavbl@msn.com 60 Lymount St NATHAN Q 4111 07 3700 4067 QBCC A&L Lic. 1918988	PROJECT: PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	DATE: MARCH 2017
	SCALE: 1:200 e.a.s.	DWG: DA-14/A

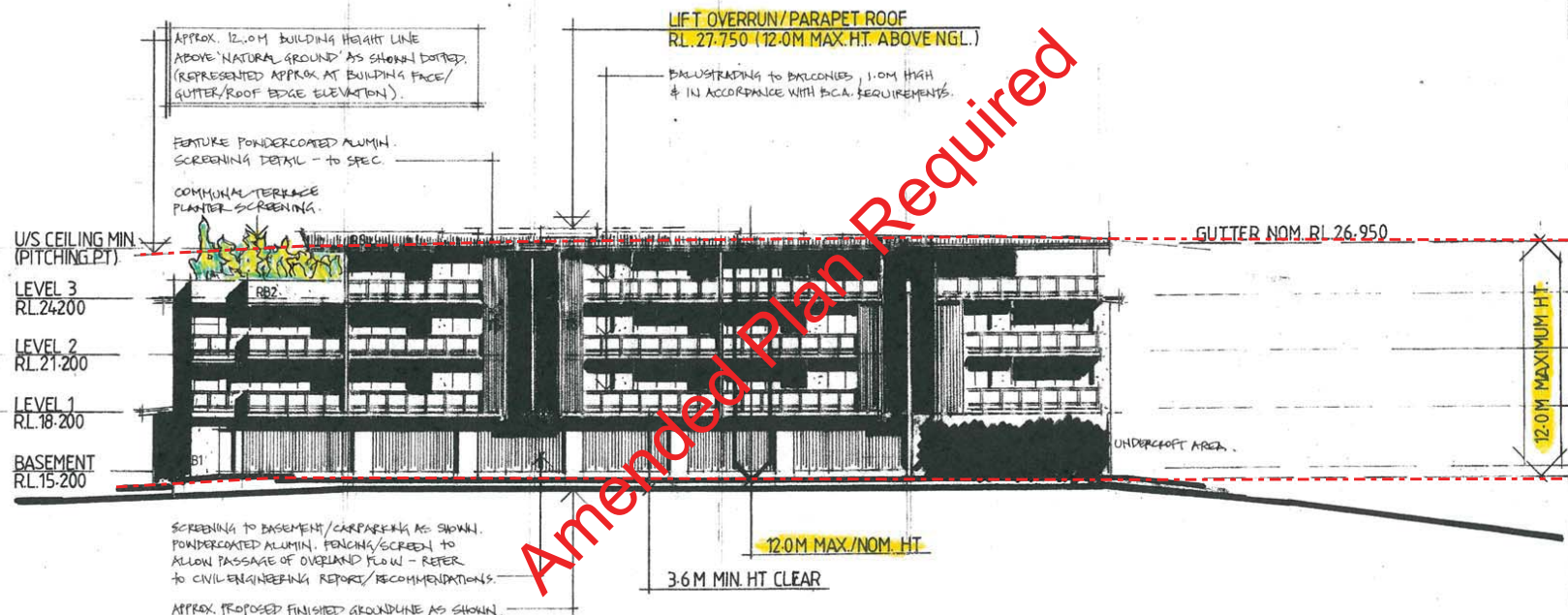


Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

MATERIALS LEGEND / NOTES	
FC1	Fibre Cement sheet wall cladding – vertical grooved (James Hardie 'Axon' 400 or similar).
RB1	Rendered Brick/Blockwork – colour 1 / texture as sel.
RB2	Rendered Brick/Blockwork – colour 2 / texture as sel.
GR1	Grooved render finish – colour/texture as sel.
MC	Metal Cladding as selected/specified – (standing seam: Stralco 'Hiland Tray' or similar).
TC	Select HWD shiplap timber cladding – clear finished ('Urbanline - Newport' or similar).
TS	Timber Battening / Screen (or powdercoated aluminium screen as selected).
WB	Weatherboard type lineal profile cladding as sel./spec. ('James Hardie - Stria' or similar).
RS	Colorbond metal roof sheeting, colours as selected.



Amended Plan Required

1 NORTH-EAST ELEVATION

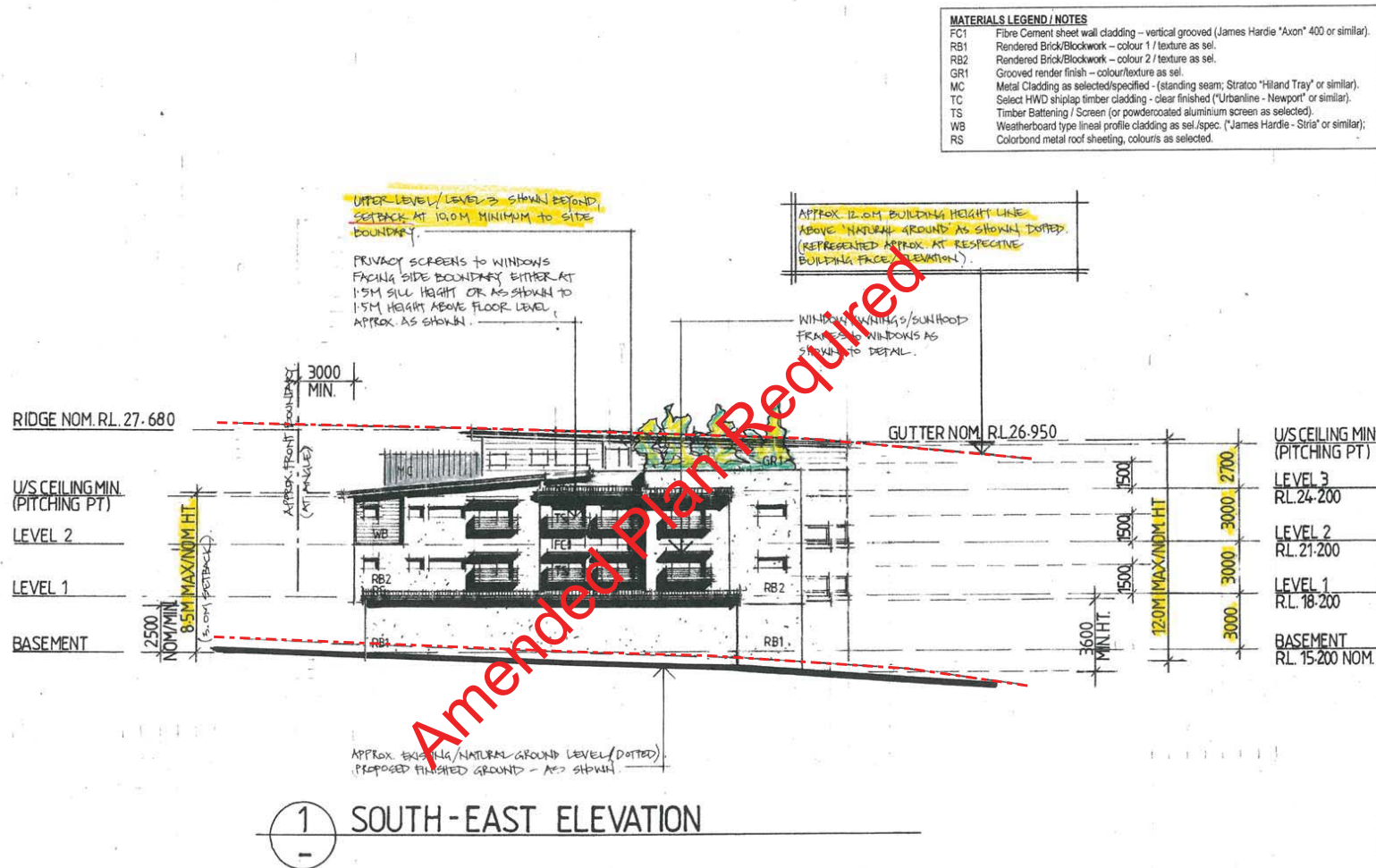
lavbl design 0410 579 606 lavbl@msn.com 50 Iyvmount ST NATHAN Q 4111 07 3700 4067 QBCC Act Lic. 1010598	PROJECT:	DATE:
	PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	MARCH 2017
		SCALE:
		1:200 eA2
	DWG:	DA-15/A



Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



lavbl design 0410 579 605 lavbl@msn.com 60 Iymount St NATHAN Q 4111 07 3700 4057 QBCC Act Lic: 1016998	PROJECT:	DATE:
	PROPOSED NEW APARTMENT UNITS at 25 BOWEN AVENUE, ALBANY CREEK Q 4035	MARCH 2017
		SCALE:
		1:200 & A3
	DWG:	DA-16/A

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



25 Bowen Avenue, Albany Creek

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



25 Bowen Avenue, Albany Creek

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



25 Bowen Avenue, Albany Creek

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



25 Bowen Avenue, Albany Creek

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



25 Bowen Avenue, Albany Creek

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



25 Bowen Avenue, Albany Creek

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Hendriks/House (Caboolture) Pty Ltd

PO Box 60
MORAYFIELD QLD 4506
admin@hendrikshouse.com.au
http://www.hendrikshouse.com.au

ABN 99 062 194 861
Phone (07) 5497 9899
Fax (07) 5498 6692

STORMWATER QUALITY MANAGEMENT REPORT

Unit Development
25 - 27 Bowen Avenue, Albany Creek

*Prepared for
Michael Sorensen*

Amended Plan Required

Approved

.....
J.P.M Hendriks RPEQ 1238

REVISION C

August 2018 (RS)

REF No. 3709



Not Approved DA/34470/2017/V2M to be advised

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 120
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

CLIENT Michael Sorensen

REPORT NAME Stormwater Quality Management Report-

SITE DESCRIPTION Lot 57 on SP155119 and Lot 56 on RP93874 Parish Bunya 25 - 27 Bowen Avenue, Albany Creek

DOCUMENT 3709 - Stormwater Quality Management Report Rev D

ISSUE	Author	RS	Reviewer	J.P.M.H RPEQ 1238

Revision	Date	Comments
A	May 2014	Submitted to Council
B	Aug 2014	Layout changed
C	March 2018	Layout Changed
D	August 2018	Layout changed

DESCRIPTION Stormwater Quality Report

This Stormwater Quality Report for Lot 57 on SP155119 and Lot 56 on RP93874 Parish Bunya ,25 - 27 Bowen Avenue, Albany Creek has been prepared solely for the benefit of and use by the Client in accordance with the terms of the engagement. This Report must not be used for any other purpose, or by any other party, nor is the Report to be made available to any other party without the prior written consent of the Client. No part of this document may be reproduced in part or full without the prior, written permission of the Client. This document is and shall remain the property of Hendriks/House (Caboolture) Pty. Ltd. Unauthorised use of this document in any form whatsoever is prohibited.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Table of Contents

1.0	Introduction	1
2.0	Site description	2
3.0	Stormwater Quality	3
3.1	Source Nodes	3
3.2	Treatment Train effectiveness	7
4.0	Conclusion	7
	Appendix A.	8
	Appendix B.	9

Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)
3709 - STORMWATER QUALITY MANAGEMENT REPORT

1.0 Introduction

Site Description – Lot 57 on SP155119 and Lot 56 on RP93874 Parish Bunya

This report has been prepared on behalf of the owner, Michael Sorensen, of 25 - 27 Bowen Avenue, Albany Creek, to accompany the development application in the Moreton Bay Regional Council, Pine Rivers Planning Scheme. The proposed development is a unit development on a Residential allotment.

This report addresses stormwater quality improvement issues in accordance with Council's standards and State Planning Policy SPP 4/10 - Healthy Waters.

The proposed stormwater management plan drawing 3709-3K03 is included in Appendix A.

Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)
3709 - STORMWATER QUALITY MANAGEMENT REPORT

2.0 Site description

The subject site is situated at 25-27 Bowen Avenue Albany Creek and has an area of 2987m². Additional 60m² paved driveway surface at the verge of Bowen Avenue has been included in the MUSIC modelling. The part of the site 1107m² north east of the sewer easement will not be developed and has been excluded from the MUSIC modelling.

The existing site, shown in Appendix A, is bounded on the south west by Bowen Avenue and east by Sandy Creek. Adjacent to the southern and western boundaries are residential allotments and an open drain along the northern boundary. The site drains to the open drain and Sandy Creek which is the lawful point of discharge. The existing cover of the site is average grassed surface garden with two residential dwellings.



Figure 2-1: Site Locality (MBRC Flood Explorer)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

3.0 Stormwater Quality

As part of the development approval, required Water Quality Objectives must be achieved during the construction phase of the development as well as during the permanent phase of the site.

Water Quality During Construction

Silt fences are to be erected prior to construction and maintained for the duration of construction until landscaping and grassed areas are established. These will filter any suspended solids and gross pollutants during construction. The access route into the site will be stabilised prior to construction commencing. An Erosion and Sediment Management Plan will be prepared in conjunction with operational works approvals setting out required measures.

Post Construction Water Quality

The stormwater post development has been analysed using MUSIC modelling to determine the total suspended solids (TSS), Phosphorus (TP), Nitrogen (TN) and Gross Pollutants (GP) discharged to the watercourse traversing the site.

3.1 Source Nodes

The MUSIC source nodes for the development catchments CA1 to CA8 have been classified as 'commercial split catchment' and used for modelling purposes. The commercial source node are modelled in each instance with the fraction impervious adopted of 90%.

The model will demonstrate the treatment train's effectiveness to treat the runoff generated within the developed subject site. Catchment A6, is excluded from MUSIC modelling as the area is outside the boundary of the proposed site development. Catchment sizes and the corresponding fraction impervious values are shown in Appendix B within the Rational method calculations and as shown below in Table 5.1.

Source Node	Contributing Area (ha)	Fraction impervious
A1 (Roof and ground surface NW)	0.008	1.00
A2 (Roof surface falling N)	0.068	1.00
A3 (Roof Surface falling S)	0.058	1.00
A4 (Driveway and Carpark)	0.036	0.20
A5 (External Catchment road)	0.010	0.15
Total	0.180ha	

Table 3-1: Source Node Parameters

The surface area north east of the sewer easement to the north eastern boundary adjacent to Sandy Creek has been excluded from the modelling.

It is proposed to collect runoff from the subject site by a network of stormwater pits and roof gutters. Although the stormwater infrastructure is designed to cater for a

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

Q20 ARI storm, stormwater improvement devices are designed to a Q3 month storm consistent with SEQ guidelines. The stormwater pipe network discharges to a detention tank containing StormFilter patented passive filtration cartridges which effectively remove pollutants to meet regulatory requirements

Bioretention Treatment

Design & Treatment Node

All stormwater from the car park external road surface and the southern roof will be routed through a small sedimentation basin located within the detention tank. This sedimentation basin will have a surface area of 10sqm and have 500mm high walls surrounding the part of the basin. Flows will exit the basin via 150mm diameter pipe, with flows in excess of the capacity of this basin overtopping the walls to enter the detention tank and the StormFilter Treatment train. The bioretention treatment proposed using 10 StormFilter patented passive filtration cartridges contained within the detention tank. The proposed detention tank is shown on drawing 3709/SK05C in Appendix A . The StormFilter stormwater treatment system uses rechargeable, self-cleaning, media-filled cartridges to absorb and retain most pollutants from stormwater runoff including total suspended solids, hydrocarbons, nutrients, soluble heavy metals, and other common pollutants. **Ten (10) cartridges are required to achieve required reductions.**

Access openings will be required for each cartridge area as well as an additional opening for the main tank component. The flowrate used for MUSIC calculations through the cartridges is 1.6L/s as recommended by the manufacturer. The Stormfilter cartridge system is contained by a false floor 160mm above the actual detention floor. Access covers will be required to the cartridge areas.

The catchment source nodes, treatment nodes, junction & receiving nodes are shown for the MUSIC model treatment train in Appendix D. Although the stormwater infrastructure is designed to cater for a 10 year ARI (Annual Recurrence Interval) storm, stormwater improvement devices are designed to a 3 month storm consistent with SEQ guidelines.

Driveway and roof catchments A1 to A4 are discharged directly into the proposed piped system. Roadway catchment CA5 discharges to a gully pit located in the driveway. Stormwater 360 EnviroPod screening bags are located in all pits. These screening bags effectively capture and retain litter, debris and other pollutants prior to the runoff entering the piped drainage system.

Maintenance requirements

Monitoring of gross pollutants, debris and sediment accumulation following storm events is the chief component of the maintenance requirements. The filters will require inspection and cleaning on a yearly basis.

Stormwater360 EnviroPod

The EnviroPod® is a proven catchpit insert designed to be easily retrofitted into new and existing stormwater catchpits, requiring no construction or land take. It removes a significant portion of sediment, trash, debris and other pollutants from water entering the stormwater system and can be installed in pre-cast catchpits.

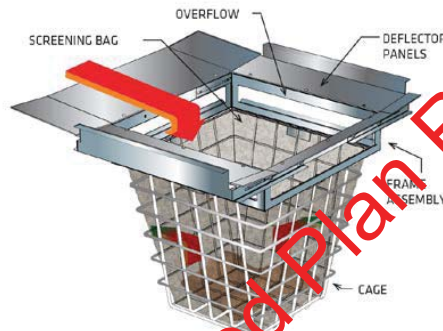
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

Using low-cost passive screening and optional oil-adsorbent media, the EnviroPod® can be customised to meet site-specific requirements with interchangeable polyester mesh screens ranging from 100 to 1600 micron pore size. 200micron filter mesh screening bags are supplied as standard (unless specified otherwise). This filter mesh has a moderate/high removal rate and a moderate maintenance requirement.

Testing at the University of South Australia Urban Water Resources Centre found that the EnviroPod unit retained all litter up to an approach flow of 100L/sec. For MUSIC modelling purposes, node properties for the treatment device were obtained directly from the manufacturer Stormwater 360.

The EnviroPod uses a perlite based adsorbent material specially treated to enhance its natural ability to capture and retain oil and grease. The adsorbent material is contained in pouches that are designed to ensure maximum contact with stormwater as it enters the gully pit. Laboratory testing demonstrated that the oil adsorbent material can capture and retain three times its weight in oil. Details of the EnviroPod screening bag is shown below and detailed in Appendix D.



Construction schedule

Temporary sediment and erosion control measures, such as silt fences, diversion banks and /or channels, turf strips and sand bags, should be installed during construction activities that may impact the area. Following the completion of carpark area and landscaping requirements, temporary measures can be removed. Premature filter blockage and sediment generated during construction is a risk. To avoid this, the EnviroPod bags should be regularly inspected during construction and cleaned where deemed necessary.

Maintenance requirements

Maintenance of the EnviroPod is easy and straight forward. Simply lift the screening bag from the frame and dump out the captured pollutants. Alternatively, the bag can be vacuumed for even faster maintenance. If necessary, replace the oil adsorbent media bags.

The oil removal pouches are clipped to the screening bag for easy removal during maintenance. As the pouches capture oil, the adsorbent material darkens. When the pouches are nearly black they have almost reached their oil adsorbent capacity and should be replaced.

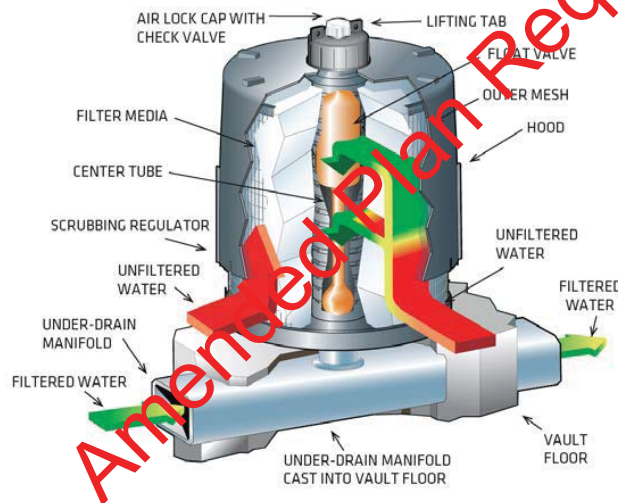
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

Stormwater360 StormFilter

The StormFilter, a passive, flow-through, stormwater filtration system, improves the quality of stormwater runoff from the urban environment before it enters receiving waterways by removing non-point source pollutants, including sediment (TSS), oil and grease, soluble metals, nutrients, organics, and trash and debris. The StormFilter is used in a wide variety of applications to treat runoff from various sites including retail and commercial developments.

The StormFilter system is typically comprised of a vault that houses the rechargeable, media-filled, filter cartridges. Stormwater from storm drains is percolated through these media-filled cartridges, which trap particulates and remove pollutants such as dissolved metals, nutrients, and hydrocarbons. During the filtering process, the StormFilter system also removes surface scums and floating oil and grease. Once filtered through the media, the treated stormwater is directed to a collection pipe or discharged to an open channel drainage way. Details of the StormFilter system is shown below.



Independent manufacturer testing indicates the efficiency of the system with the anomalies removed with a removal efficiency of 79% for Suspended Solids, 51% Total Phosphorus & 32% for Total Nitrogen. For MUSIC modelling purposes, node properties for the treatment device were obtained directly from the manufacturer Stormwater 360.

Construction schedule

Temporary sediment and erosion control measures, such as silt fences, diversion banks and /or/ channels, turf strips and sand bags, should be installed during construction activities that may impact the area. Following the completion of carpark area and landscaping requirements, temporary measures can be removed. Premature filter blockage and sediment generated during construction is a risk. To avoid this, the cartridges should be regularly inspected during construction and cleaned where deemed necessary.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

3.2 Treatment Train effectiveness

The MUSIC model output is included in Appendix B and summarised in Tables 3-6. Output from MUSIC software indicate significant reductions in total suspended solids (TSS), Phosphorus (TP), Nitrogen (TN) and Gross Pollutants (GP) discharged following the development of the site. The reductions comply with the Moreton Bay Plan and SEQ water Regional Plan 2009-2013: Implementation Guidelines (2010).

Attached to Appendix A are drawings showing the details of all stormwater quality improvement layout and devices as described.

	TSS (kg/yr)	TP (kg/yr)	TN (kg/yr)	GP (kg/yr)
Inflow	231	0.412	6.85	50.1
Outflow	18.6	0.132	3.28	0
% Reduction Required	80%	60%	45%	90%
% Reduction Achieved	91.9%	68.0%	52.2%	100%

Figure 3-6: Treatment Train Effectiveness

4.0 Conclusion

Output from MUSIC software indicate significant reductions in total suspended solids (TSS), Phosphorus (TP), Nitrogen (TN) and Gross Pollutants (GP) discharged from the site following the development. The reductions comply with the Moreton Bay Plan (specific outcomes SO1 to SO4 of the Stormwater Code) and SEQwater Health Waterways (2006) guidelines.

Amended Plan Required



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

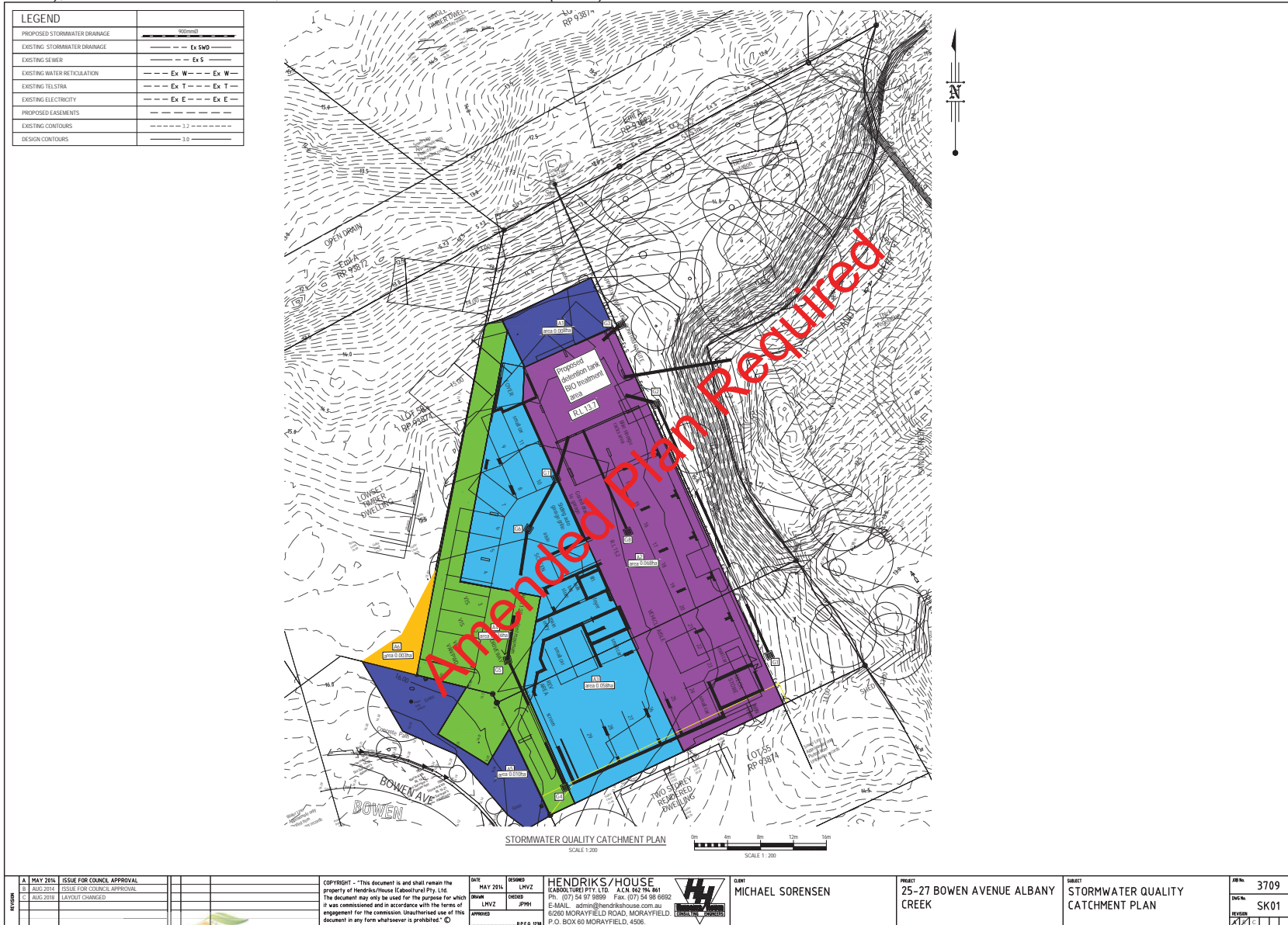
Appendix A.

Drawings

- 3709 / SK01 – Stormwater Quality Catchment Plan
- 3709 / SK03 - Stormwater Management Plan
- 3709 / SK05A - Stormwater Quality Concept Detail Plan
- 3709 / SK05C – Detention Tank Concept

Amended Plan Required

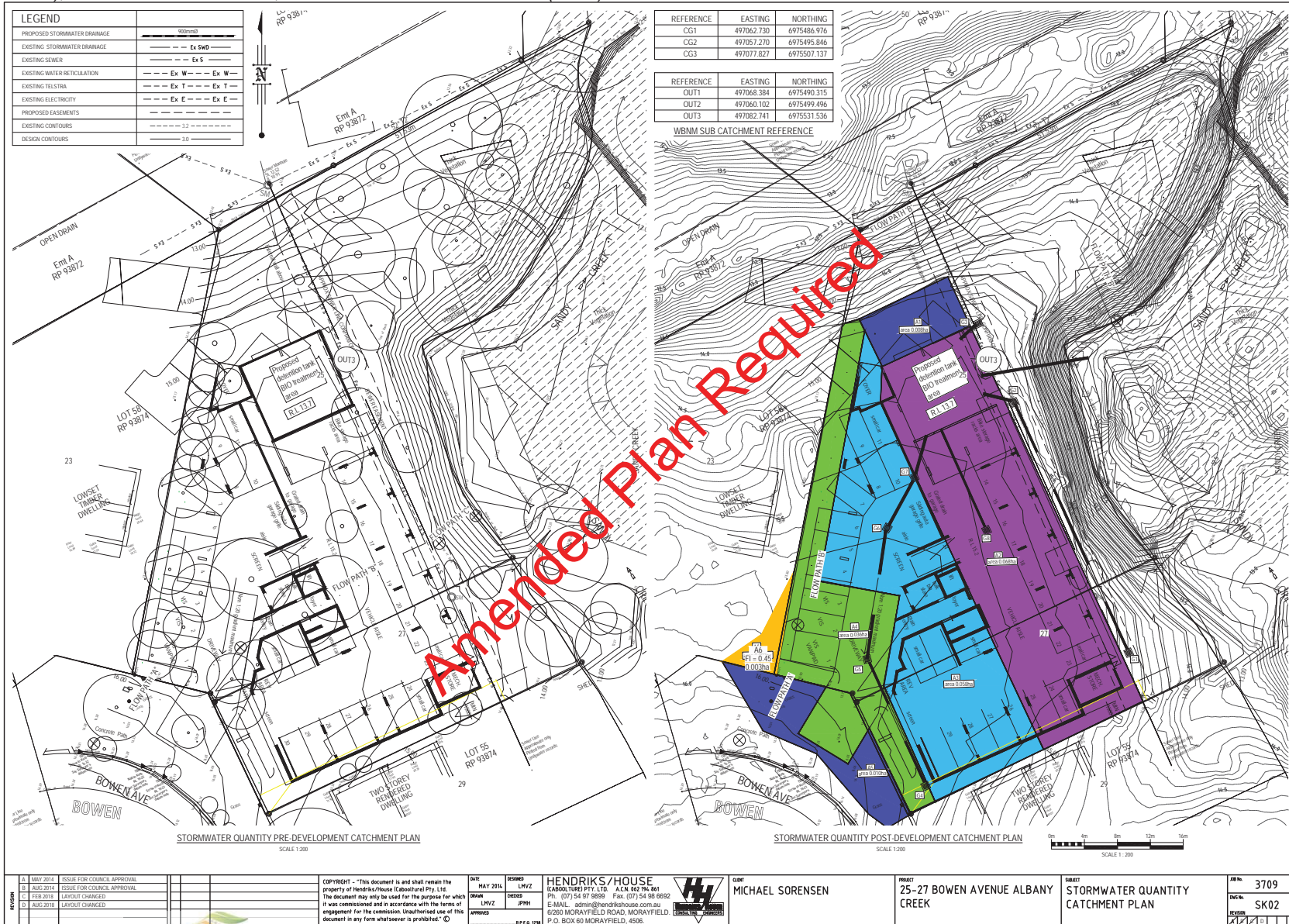
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Amended Plan Required

REVISION	DATE	DESCRIPTION
A	MAY 2014	ISSUE FOR COUNCIL APPROVAL
B	AUG 2014	ISSUE FOR COUNCIL APPROVAL
C	FEB 2018	LAYOUT CHANGED
D	AUG 2018	LAYOUT CHANGED

COPYRIGHT - This document is and shall remain the property of Hendriks/House (Caboolture) Pty. Ltd. The document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited.

DATE: MAY 2018
DESIGNED: LHWZ
DRAWN: JPPH
CHECKED: JPPH
APPROVED: JPPH

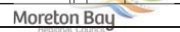
HENDRIKS/HOUSE
 (CABOOLTURE) PTY. LTD. ACN 662 946 861
 7th, 1071 SA 97 8899 Fax: 071 54 98 8502
 E-MAIL: admin@hendriks.house.com.au
 6250 MORAYFIELD ROAD, MORAYFIELD
 P.O. BOX 60 MORAYFIELD, 4506

CLIENT: MICHAEL SORENSEN

PROJECT: 25-27 BOWEN AVENUE ALBANY CREEK

SUBJECT: STORMWATER QUANTITY CATCHMENT PLAN

DA#	3709
DC#	SK02
DATE	
BY	



Not Approved DA/34470/2017/V2M

to be advised

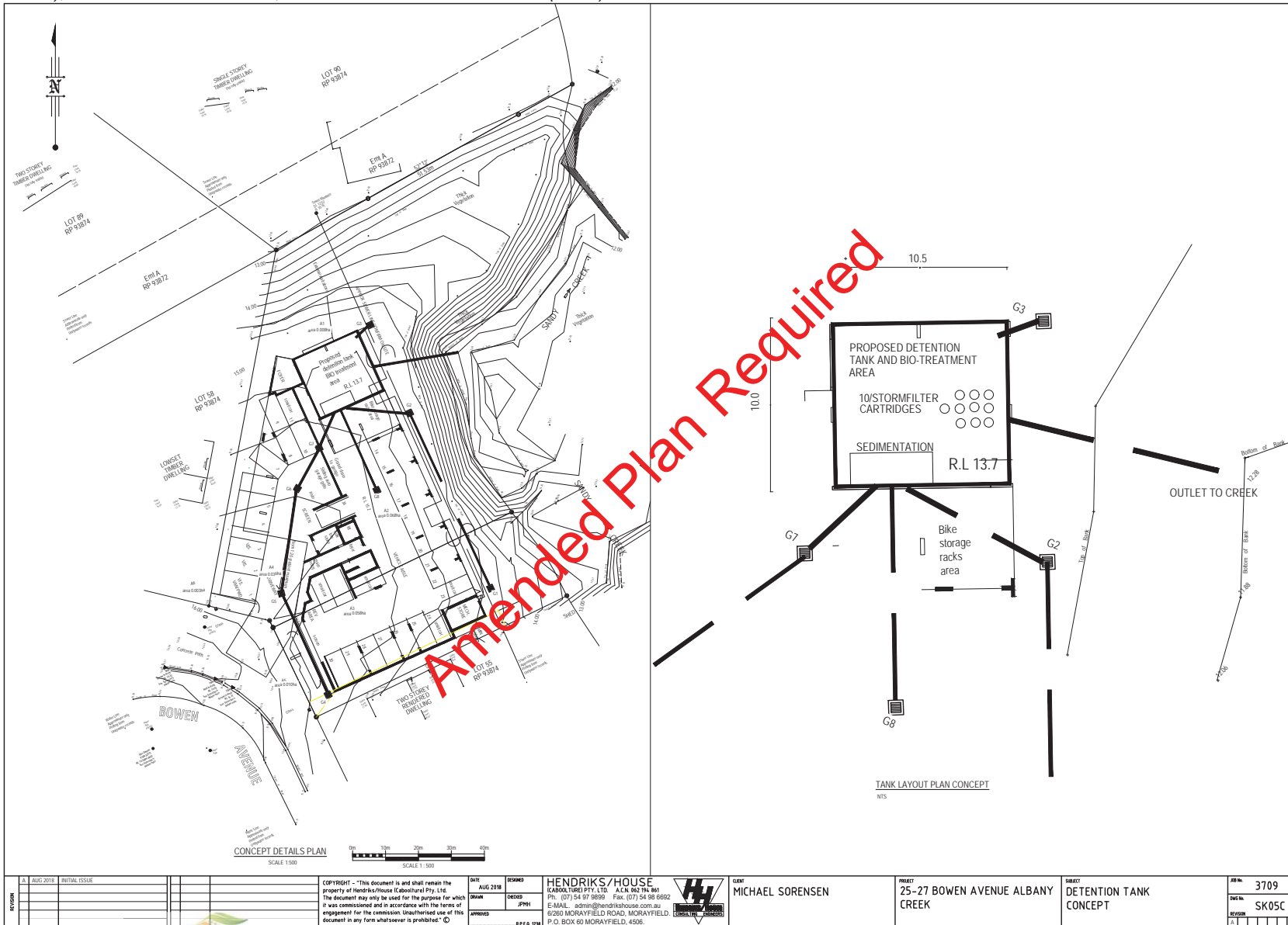
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



<table border="1"> <tr> <th>REV</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td>18 AUG 2018</td> <td>INITIAL ISSUE</td> </tr> </table>	REV	DATE	DESCRIPTION	1	18 AUG 2018	INITIAL ISSUE	COPYRIGHT - "This document is and shall remain the property of Hendriks/House (Cabooolture) Pty. Ltd. The document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited."	<table border="1"> <tr> <th>DATE</th> <th>DESIGNED</th> <th>DRAWN</th> <th>CHECKED</th> <th>APPROVED</th> </tr> <tr> <td>18 AUG 2018</td> <td>JPH</td> <td>JPH</td> <td>JPH</td> <td>JPH</td> </tr> </table>	DATE	DESIGNED	DRAWN	CHECKED	APPROVED	18 AUG 2018	JPH	JPH	JPH	JPH	HENDRIKS/HOUSE CABOOLTURE PTY. LTD. A.C.N. 962 946 861 Ph: (07) 54 97 8809 Fax: (07) 54 98 6622 E-MAIL: admin@hendrikshouse.com.au 6/250 MORAYFIELD ROAD, MORAYFIELD P.O. BOX 60 MORAYFIELD, 4508	CLIENT MICHAEL SORENSEN	PROJECT 25-27 BOWEN AVENUE ALBANY CREEK	SUBJECT DETENTION TANK CONCEPT	JOB No 3709 DRAWN SK05C REVISION
	REV	DATE	DESCRIPTION																				
1	18 AUG 2018	INITIAL ISSUE																					
DATE	DESIGNED	DRAWN	CHECKED	APPROVED																			
18 AUG 2018	JPH	JPH	JPH	JPH																			
Moreton Bay	Not Approved DA/34470/2017/V2M	to be advised																					

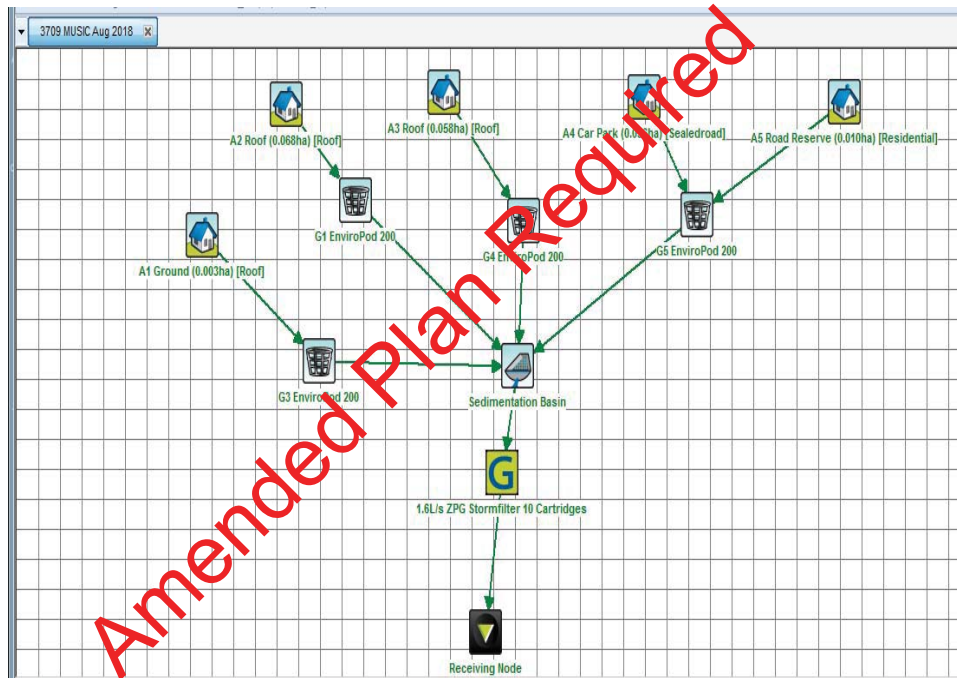
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

Appendix B.

- MUSIC Node layout
- MUSIC Treatment Train Effectiveness
- MUSIC Output

MUSIC Node Layout



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

MUSIC Treatment Train Effectiveness

	Sources	Residual Load	% Reduction
Flow (ML/yr)	2.2	2.19	0.4
Total Suspended Solids (kg/yr)	228	18.5	91.9
Total Phosphorus (kg/yr)	0.397	0.13	67.3
Total Nitrogen (kg/yr)	6.98	3.3	52.8
Gross Pollutants (kg/yr)	50.1	0	100

MUSIC Output

Source nodes
Location,A4 Car Park (0.036ha),A5 Road Reserve (0.010ha),A3 Roof (0.058ha),A1 Ground (0.003ha),A2 Roof (0.068ha)
ID,2,3,4,5,6
Node
Type,UrbanSourceNode,UrbanSourceNode,UrbanSourceNode,UrbanSourceNode,UrbanSourceNode
Zoning Surface Type,SealedRoad,Residential,Roof,Roof,Roof
Total Area (ha),0.036,0.01,0.058,0.008,0.068
Area Impervious (ha),0.036,0.0015205223980597,0.058,0.008,0.0679111940298508
Area Pervious (ha),0,0.0084794776119403,0,0,8.880597014925E-5
Field Capacity (mm),80,200,80,80,80
Pervious Area Infiltration Capacity coefficient - a,343,211,23,243,243
Pervious Area Infiltration Capacity exponent - b,0.6,5,0.6,0.6,0.6
Impervious Area Rainfall Threshold (mm/day),1,1,1,1,1
Pervious Area Soil Storage Capacity (mm),18,500,18,18,18
Pervious Area Soil Initial Storage (% of Capacity),10,10,10,10,10
Groundwater Initial Depth (mm),50,50,50,50,50
Groundwater Daily Recharge Rate (%),0,28,0,0,0
Groundwater Daily Baseflow Rate (%),31,27,31,31,31
Groundwater Daily Deep Seepage Rate (%),0,0,0,0,0
Stormflow Total Suspended Solids Mean (log mg/L),2.43,1.3,1.3,1.3,1.3
Stormflow Total Suspended Solids Standard Deviation (log mg/L),0.38,0.39,0.38,0.38,0.38
Stormflow Total Suspended Solids Estimation Method,Stochastic,Stochastic,Stochastic,Stochastic,Stochastic
Stormflow Total Suspended Solids Serial Correlation,0,0,0,0,0
Stormflow Total Phosphorus Mean (log mg/L),-0.89,-0.3,-0.89,-0.89,-0.89



Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

Stormflow Total Phosphorus Standard Deviation (log mg/L),0.34,0.31,0.34,0.34,0.34
Stormflow Total Phosphorus Estimation
Method,Stochastic,Stochastic,Stochastic,Stochastic,Stochastic
Stormflow Total Phosphorus Serial Correlation,0,0,0,0,0
Stormflow Total Nitrogen Mean (log mg/L),0.37,0.26,0.37,0.37,0.37
Stormflow Total Nitrogen Standard Deviation (log mg/L),0.34,0.23,0.34,0.34,0.34
Stormflow Total Nitrogen Estimation
Method,Stochastic,Stochastic,Stochastic,Stochastic,Stochastic
Stormflow Total Nitrogen Serial Correlation,0,0,0,0,0
Baseflow Total Suspended Solids Mean (log mg/L),0,1,0,0,0
Baseflow Total Suspended Solids Standard Deviation (log mg/L),0,0.34,0,0,0
Baseflow Total Suspended Solids Estimation
Method,Stochastic,Stochastic,Stochastic,Stochastic,Stochastic
Baseflow Total Suspended Solids Serial Correlation,0,0,0,0,0
Baseflow Total Phosphorus Mean (log mg/L),0,-0.97,0,0,0
Baseflow Total Phosphorus Standard Deviation (log mg/L),0,0.31,0,0,0
Baseflow Total Phosphorus Estimation
Method,Stochastic,Stochastic,Stochastic,Stochastic,Stochastic
Baseflow Total Phosphorus Serial Correlation,0,0,0,0,0
Baseflow Total Nitrogen Mean (log mg/L),0,0.2,0,0,0
Baseflow Total Nitrogen Standard Deviation (log mg/L),0,0.2,0,0,0
Baseflow Total Nitrogen Estimation
Method,Stochastic,Stochastic,Stochastic,Stochastic,Stochastic
Baseflow Total Nitrogen Serial Correlation,0,0,0,0,0
Flow based constituent generation - enabled,Off,Off,Off,Off,Off
Flow based constituent generation - flow file, , , , ,
Flow based constituent generation - base flow column, , , , ,
Flow based constituent generation - pervious flow column, , , , ,
Flow based constituent generation - impervious flow column, , , , ,
Flow based constituent generation - unit, , , , ,
OUT - Mean Annual Flow (ML/yr),0.455,55.9E-3,0.733,0.101,0.859
OUT - TSS Mean Annual Load (kg/yr),178,1.42,21.3,2.91,24.7
OUT - TP Mean Annual Load (kg/yr),80.4E-3,28.5E-3,0.130,16.7E-3,0.142
OUT - TN Mean Annual Load (kg/yr),1.48,0.113,2.38,0.317,2.69
OUT - Gross Pollutant Mean Annual Load (kg/yr),10.4,0.821,16.8,2.32,19.7
Rain In (ML/yr),0.494453,0.137348,0.796618,0.109878,0.933969
ET Loss (ML/yr),0.0396548,0.0816454,0.0638864,0.00881185,0.0749006
Deep Seepage Loss (ML/yr),0,0,0,0,0
Baseflow Out (ML/yr),0,0.0150347,0,0,0
Imp. Stormflow Out (ML/yr),0.454798,0.0189499,0.73273,0.101066,0.859064
Perv. Stormflow Out (ML/yr),0,0.0219112,0,0,0
Total Stormflow Out (ML/yr),0.454798,0.0408611,0.73273,0.101066,0.859064
Total Outflow (ML/yr),0.454798,0.0558958,0.73273,0.101066,0.859064
Change in Soil Storage (ML/yr),0,-0.00019143,0,0,0
TSS Baseflow Out (kg/yr),0,0.201251,0,0,0
TSS Total Stormflow Out (kg/yr),178.175,1.21685,21.28,2.90553,24.6971

Amended Plan Required



Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 137
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

TSS Total Outflow (kg/yr),178.175,1.4181,21.28,2.90553,24.6971
TP Baseflow Out (kg/yr),0,0.00202126,0,0,0
TP Total Stormflow Out
(kg/yr),0.0804324,0.0264767,0.129585,0.0167335,0.142235
TP Total Outflow
(kg/yr),0.0804324,0.028498,0.129585,0.0167335,0.142235
TN Baseflow Out (kg/yr),0,0.0262717,0,0,0
TN Total Stormflow Out
(kg/yr),1.47641,0.086715,2.37867,0.317002,2.69452
TN Total Outflow
(kg/yr),1.47641,0.112987,2.37867,0.317002,2.69452
GP Total Outflow (kg/yr),10.4338,0.928077,16.81,2.31861,19.7082

No Imported Data Source nodes

USTM treatment nodes

Location,Sedimentation Basin
ID,12

Node Type,SedimentationBasinNode

Lo-flow bypass rate (cum/sec),0

Hi-flow bypass rate (cum/sec),100

Inlet pond volume,0

Area (sqm),10

Initial Volume (m³),10

Extended detention depth (m),0.5

Number of Rainwater tanks,

Permanent Pool Volume (cubic metres),10

Proportion vegetated,0

Equivalent Pipe Diameter (mm),150

Overflow weir width (m),2

Notional Detention Time (hrs),7.5E-3

Orifice Discharge Coefficient,0.6

Weir Coefficient,1.7

Number of CSTR Cells,1

Total Suspended Solids - k (m/yr),8000

Total Suspended Solids - C* (mg/L),20

Total Suspended Solids - C** (mg/L),20

Total Phosphorus - k (m/yr),6000

Total Phosphorus - C* (mg/L),0.13

Total Phosphorus - C** (mg/L),0.13

Total Nitrogen - k (m/yr),500

Total Nitrogen - C* (mg/L),1.4

Total Nitrogen - C** (mg/L),1.4

Threshold Hydraulic Loading for C** (m/yr),3500

Horizontal Flow Coefficient,

Reuse Enabled,Off

Max drawdown height (m),

Annual Demand Enabled,Off

Annual Demand Value (ML/year),

Annual Demand Distribution,

Annual Demand Monthly Distribution: Jan,

Annual Demand Monthly Distribution: Feb,

Annual Demand Monthly Distribution: Mar,

Annual Demand Monthly Distribution: Apr,

Annual Demand Monthly Distribution: May,

Annual Demand Monthly Distribution: Jun,

Annual Demand Monthly Distribution: Jul,

Annual Demand Monthly Distribution: Aug,

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

Annual Demand Monthly Distribution: Sep,
Annual Demand Monthly Distribution: Oct,
Annual Demand Monthly Distribution: Nov,
Annual Demand Monthly Distribution: Dec,
Daily Demand Enabled,Off
Daily Demand Value (ML/day),
Custom Demand Enabled,Off
Custom Demand Time Series File,
Custom Demand Time Series Units,
Filter area (sqm),
Filter perimeter (m),
Filter depth (m),
Filter Median Particle Diameter (mm),
Saturated Hydraulic Conductivity (mm/hr),
Infiltration Media Porosity,
Length (m),
Bed slope,
Base Width (m),
Top width (m),
Vegetation height (m),
Vegetation Type,
Total Nitrogen Content in Filter (mg/kg),
Orthophosphate Content in Filter (mg/kg),
Is Base Lined?,
Is Underdrain Present?,
Is Submerged Zone Present?,
Submerged Zone Depth (m),
B for Media Soil Texture,-9999
Proportion of upstream impervious area treated,
Exfiltration Rate (mm/hr),0
Evaporative Loss as % of PET,75
Depth in metres below the drain pipe,
TSS A Coefficient,
TSS B Coefficient,
TP A Coefficient,
TP B Coefficient,
TN A Coefficient,
TN B Coefficient,
Sfc,
S*,
Sw,
Sh,
Emax (m/day),
Ew (m/day),
IN - Mean Annual Flow (ML/yr),2.20
IN - TSS Mean Annual Load (kg/yr),91.4
IN - TP Mean Annual Load (kg/yr),0.397
IN - TN Mean Annual Load (kg/yr),6.98
IN - Gross Pollutant Mean Annual Load (kg/yr),0.00
OUT - Mean Annual Flow (ML/yr),2.19
OUT - TSS Mean Annual Load (kg/yr),46.4
OUT - TP Mean Annual Load (kg/yr),0.296
OUT - TN Mean Annual Load (kg/yr),5.15
OUT - Gross Pollutant Mean Annual Load (kg/yr),0.00
Flow In (ML/yr),2.20355
ET Loss (ML/yr),0.00900741
Infiltration Loss (ML/yr),0
Low Flow Bypass Out (ML/yr),0

Amended Plan Required

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 139
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

High Flow Bypass Out (ML/yr),0
Orifice / Filter Out (ML/yr),2.19456
Weir Out (ML/yr),0
Transfer Function Out (ML/yr),0
Reuse Supplied (ML/yr),0
Reuse Requested (ML/yr),0
% Reuse Demand Met,0
% Load Reduction,0.407735
TSS Flow In (kg/yr),91.3901
TSS ET Loss (kg/yr),0
TSS Infiltration Loss (kg/yr),0
TSS Low Flow Bypass Out (kg/yr),0
TSS High Flow Bypass Out (kg/yr),0
TSS Orifice / Filter Out (kg/yr),46.423
TSS Weir Out (kg/yr),0
TSS Transfer Function Out (kg/yr),0
TSS Reuse Supplied (kg/yr),0
TSS Reuse Requested (kg/yr),0
TSS % Reuse Demand Met,0
TSS % Load Reduction,49.2035
TP Flow In (kg/yr),0.397483
TP ET Loss (kg/yr),0
TP Infiltration Loss (kg/yr),0
TP Low Flow Bypass Out (kg/yr),0
TP High Flow Bypass Out (kg/yr),0
TP Orifice / Filter Out (kg/yr),0.295706
TP Weir Out (kg/yr),0
TP Transfer Function Out (kg/yr),0
TP Reuse Supplied (kg/yr),0
TP Reuse Requested (kg/yr),0
TP % Reuse Demand Met,0
TP % Load Reduction,25.6054
TN Flow In (kg/yr),6.97958
TN ET Loss (kg/yr),0
TN Infiltration Loss (kg/yr),0
TN Low Flow Bypass Out (kg/yr),0
TN High Flow Bypass Out (kg/yr),0
TN Orifice / Filter Out (kg/yr),5.15226
TN Weir Out (kg/yr),0
TN Transfer Function Out (kg/yr),0
TN Reuse Supplied (kg/yr),0
TN Reuse Requested (kg/yr),0
TN % Reuse Demand Met,0
TN % Load Reduction,26.1809
GP Flow In (kg/yr),0
GP ET Loss (kg/yr),0
GP Infiltration Loss (kg/yr),0
GP Low Flow Bypass Out (kg/yr),0
GP High Flow Bypass Out (kg/yr),0
GP Orifice / Filter Out (kg/yr),0
GP Weir Out (kg/yr),0
GP Transfer Function Out (kg/yr),0
GP Reuse Supplied (kg/yr),0
GP Reuse Requested (kg/yr),0
GP % Reuse Demand Met,0
GP % Load Reduction,100
PET Scaling Factor,

Amended Plan Required

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

Generic treatment nodes
 Location,1.6L/s ZPG Stormfilter 10 Cartridges,G1 EnviroPod 200,G3
 EnviroPod 200,G5 EnviroPod 200,G4 EnviroPod 200
 ID,7,8,9,10,11
 Node Type,GenericNode,GPTNode,GPTNode,GPTNode,GPTNode
 Lo-flow bypass rate (cum/sec),0,0,0,0,0
 Hi-flow bypass rate (cum/sec),0.025,0.01,0.01,0.01,0.01
 Flow Transfer Function
 Input (cum/sec),0,0,0,0,0
 Output (cum/sec),0,0,0,0,0
 Input (cum/sec),10,10,10,10,10
 Output (cum/sec),10,10,10,10,10
 Input (cum/sec), , , , ,
 Output (cum/sec), , , , ,
 Input (cum/sec), , , , ,
 Output (cum/sec), , , , ,
 Input (cum/sec), , , , ,
 Output (cum/sec), , , , ,
 Input (cum/sec), , , , ,
 Output (cum/sec), , , , ,
 Input (cum/sec), , , , ,
 Output (cum/sec), , , , ,
 Input (cum/sec), , , , ,
 Output (cum/sec), , , , ,
 Input (cum/sec), , , , ,
 Output (cum/sec), , , , ,
 Gross Pollutant Transfer Function
 Enabled,True,True,True,True,True
 Input (kg/ML),0,0,0,0,0
 Output (kg/ML),0,0,0,0,0
 Input (kg/ML),14.9393,14.7808,14.7808,14.7808,14.7808
 Output (kg/ML),0,0,0,0,0
 Input (kg/ML), , , , ,
 Output (kg/ML), , , , ,
 Input (kg/ML), , , , ,
 Output (kg/ML), , , , ,
 Input (kg/ML), , , , ,
 Output (kg/ML), , , , ,
 Input (kg/ML), , , , ,
 Output (kg/ML), , , , ,
 Input (kg/ML), , , , ,
 Output (kg/ML), , , , ,
 Input (kg/ML), , , , ,
 Output (kg/ML), , , , ,
 Total Nitrogen Transfer Function
 Enabled,True,True,True,True,True
 Input (mg/L),0,0,0,0,0
 Output (mg/L),0,0,0,0,0
 Input (mg/L),10,50,50,50,50
 Output (mg/L),6.4,50,50,50,50
 Input (mg/L), , , , ,
 Output (mg/L), , , , ,

Amended Plan Required



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

```

Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Total Phosphorus Transfer Function
Enabled,True,True,True,True,True
Input (mg/L),0,0,0,0,0
Output (mg/L),0,0,0,0,0
Input (mg/L),10,10,10,10,10
Output (mg/L),4.4,10,10,10,10
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Total Suspended Solids Transfer Function
Enabled,True,True,True,True,True
Input (mg/L),0,0,0,0,0
Output (mg/L),0,0,0,0,0
Input (mg/L),10.1125,100,100,100,100
Output (mg/L),1.9846,40,40,40,40
Input (mg/L),49.9649, , , ,
Output (mg/L),25.3215, , , ,
Input (mg/L),199.6874, , , ,
Output (mg/L),26.9582, , , ,
Input (mg/L),300.2838, , , ,
Output (mg/L),27.1157, , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,
Input (mg/L), , , , ,
Output (mg/L), , , , ,

```

Amended Plan Required



Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

TSS Flow based Efficiency Enabled,Off,Off,Off,Off,Off
TSS Flow based Efficiency, , , , ,
TP Flow based Efficiency Enabled,Off,Off,Off,Off,Off
TP Flow based Efficiency, , , , ,
TN Flow based Efficiency Enabled,Off,Off,Off,Off,Off
TN Flow based Efficiency, , , , ,
GP Flow based Efficiency Enabled,Off,Off,Off,Off,Off
GP Flow based Efficiency, , , , ,
IN - Mean Annual Flow (ML/yr),2.19,0.859,0.101,0.511,0.733
IN - TSS Mean Annual Load (kg/yr),46.4,24.7,2.91,180,21.3
IN - TP Mean Annual Load (kg/yr),0.296,0.142,16.7E-3,0.109,0.130
IN - TN Mean Annual Load (kg/yr),5.15,2.69,0.317,1.59,2.38
IN - Gross Pollutant Mean Annual Load
(kg/yr),0.00,19.7,2.32,11.3,16.8
OUT - Mean Annual Flow (ML/yr),2.19,0.859,0.101,0.511,0.733
OUT - TSS Mean Annual Load (kg/yr),18.5,9.88,1.16,71.8,8.51
OUT - TP Mean Annual Load (kg/yr),0.130,0.142,16.7E-3,0.109,0.130
OUT - TN Mean Annual Load (kg/yr),3.30,2.69,0.317,1.59,2.38
OUT - Gross Pollutant Mean Annual Load
(kg/yr),0.00,0.00,0.00,0.00,0.00
Flow In (ML/yr),2.19456,0.859064,0.101066,0.510692,0.73273
ET Loss (ML/yr),0,0,0,0,0
Infiltration Loss (ML/yr),0,0,0,0,0
Low Flow Bypass Out (ML/yr),0,0,0,0,0
High Flow Bypass Out (ML/yr),0,0,0,0,0
Orifice / Filter Out (ML/yr),0,0,0,0,0
Weir Out (ML/yr),0,0,0,0,0
Transfer Function Out
(ML/yr),2.19456,0.859064,0.101066,0.510692,0.73273
Reuse Supplied (ML/yr),0,0,0,0,0
Reuse Requested (ML/yr),0,0,0,0,0
% Reuse Demand Met,0,0,0,0,0
% Load Reduction,0,0,0,0,0
TSS Flow In (kg/yr),46.4271,24.6971,2.90553,179.592,21.28
TSS ET Loss (kg/yr),0,0,0,0,0
TSS Infiltration Loss (kg/yr),0,0,0,0,0
TSS Low Flow Bypass Out (kg/yr),0,0,0,0,0
TSS High Flow Bypass Out (kg/yr),0,0,0,0,0
TSS Orifice / Filter Out (kg/yr),0,0,0,0,0
TSS Weir Out (kg/yr),0,0,0,0,0
TSS Transfer Function Out
(kg/yr),18.542,9.87884,1.16221,71.8367,8.51198
TSS Reuse Supplied (kg/yr),0,0,0,0,0
TSS Reuse Requested (kg/yr),0,0,0,0,0
TSS % Reuse Demand Met,0,0,0,0,0
TSS % Load Reduction,60.0587,60.59.9999,60,60
TP Flow In (kg/yr),0.295707,0.142235,0.0167334,0.10893,0.129585
TP ET Loss (kg/yr),0,0,0,0,0
TP Infiltration Loss (kg/yr),0,0,0,0,0
TP Low Flow Bypass Out (kg/yr),0,0,0,0,0
TP High Flow Bypass Out (kg/yr),0,0,0,0,0
TP Orifice / Filter Out (kg/yr),0,0,0,0,0
TP Weir Out (kg/yr),0,0,0,0,0
TP Transfer Function Out
(kg/yr),0.130111,0.142235,0.0167334,0.10893,0.129585
TP Reuse Supplied (kg/yr),0,0,0,0,0
TP Reuse Requested (kg/yr),0,0,0,0,0
TP % Reuse Demand Met,0,0,0,0,0

Amended Plan Required



Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

TP % Load Reduction,56,0,0,0,0
TN Flow In (kg/yr),5.15227,2.69452,0.317001,1.58939,2.37867
TN ET Loss (kg/yr),0,0,0,0,0
TN Infiltration Loss (kg/yr),0,0,0,0,0
TN Low Flow Bypass Out (kg/yr),0,0,0,0,0
TN High Flow Bypass Out (kg/yr),0,0,0,0,0
TN Orifice / Filter Out (kg/yr),0,0,0,0,0
TN Weir Out (kg/yr),0,0,0,0,0
TN Transfer Function Out (kg/yr),3.29745,2.69452,0.317001,1.58939,2.37867
TN Reuse Supplied (kg/yr),0,0,0,0,0
TN Reuse Requested (kg/yr),0,0,0,0,0
TN % Reuse Demand Met,0,0,0,0,0
TN % Load Reduction,36.0001,0,0,0,0
GP Flow In (kg/yr),0,19.7082,2.31861,11.2545,16.81
GP ET Loss (kg/yr),0,0,0,0,0
GP Infiltration Loss (kg/yr),0,0,0,0,0
GP Low Flow Bypass Out (kg/yr),0,0,0,0,0
GP High Flow Bypass Out (kg/yr),0,0,0,0,0
GP Orifice / Filter Out (kg/yr),0,0,0,0,0
GP Weir Out (kg/yr),0,0,0,0,0
GP Transfer Function Out (kg/yr),0,0,0,0,0
GP Reuse Supplied (kg/yr),0,0,0,0,0
GP Reuse Requested (kg/yr),0,0,0,0,0
GP % Reuse Demand Met,0,0,0,0,0
GP % Load Reduction,100,100,100,100,100

Other nodes
Location,Receiving Node
ID,1
Node Type,ReceivingNode
IN - Mean Annual Flow (ML/yr),2.19
IN - TSS Mean Annual Load (kg/yr),18.5
IN - TP Mean Annual Load (kg/yr),0.130
IN - TN Mean Annual Load (kg/yr),3.30
IN - Gross Pollutant Mean Annual Load (kg/yr),0.00
OUT - Mean Annual Flow (ML/yr),2.19
OUT - TSS Mean Annual Load (kg/yr),18.5
OUT - TP Mean Annual Load (kg/yr),0.130
OUT - TN Mean Annual Load (kg/yr),3.30
OUT - Gross Pollutant Mean Annual Load (kg/yr),0.00
% Load Reduction,0.00
TSS % Load Reduction,0.00
TN % Load Reduction,0.00
TP % Load Reduction,0.00
GP % Load Reduction,0.00

Links
Location,Drainage Link,Drainage Link,Drainage Link,Drainage Link,Drainage Link,Drainage Link,Drainage Link,Drainage Link,Drainage Link
Source node ID,6,5,2,3,4,10,11,8,9,12,7
Target node ID,8,9,10,10,11,12,12,12,12,7,1
Muskingum-Cunge Routing,Not Routed,Not Routed,Not Routed,Not Routed,Not Routed,Not Routed,Not Routed,Not Routed,Not Routed
Muskingum K, , , , , , , , , , ,
Muskingum theta, , , , , , , , , , ,



Not Approved DA/34470/2017/V2M

to be advised

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 144
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUALITY MANAGEMENT REPORT

IN - Mean Annual Flow (ML/yr), 0.859, 0.101, 0.455, 55.9E-3, 0.733, 0.511, 0.733, 0.859, 0.101, 2.19, 2.19
IN - TSS Mean Annual Load (kg/yr), 24.7, 2.91, 178, 1.42, 21.3, 71.8, 8.51, 9.88, 1.16, 46.4, 18.5
IN - TP Mean Annual Load (kg/yr), 0.142, 16.7E-3, 80.4E-3, 28.5E-3, 0.130, 0.109, 0.130, 0.142, 16.7E-3, 0.296, 0.130
IN - TN Mean Annual Load (kg/yr), 2.69, 0.317, 1.48, 0.113, 2.38, 1.59, 2.38, 2.69, 0.317, 5.15, 3.30
IN - Gross Pollutant Mean Annual Load (kg/yr), 19.7, 2.32, 10.4, 0.821, 16.8, 0.00, 0.00, 0.00, 0.00, 0.00, 0.00
OUT - Mean Annual Flow (ML/yr), 0.859, 0.101, 0.455, 55.9E-3, 0.733, 0.511, 0.733, 0.859, 0.101, 2.19, 2.19
OUT - TSS Mean Annual Load (kg/yr), 24.7, 2.91, 178, 1.42, 21.3, 71.8, 8.51, 9.88, 1.16, 46.4, 18.5
OUT - TP Mean Annual Load (kg/yr), 0.142, 16.7E-3, 80.4E-3, 28.5E-3, 0.130, 0.109, 0.130, 0.142, 16.7E-3, 0.296, 0.130
OUT - TN Mean Annual Load (kg/yr), 2.69, 0.317, 1.48, 0.113, 2.38, 1.59, 2.38, 2.69, 0.317, 5.15, 3.30
OUT - Gross Pollutant Mean Annual Load (kg/yr), 19.7, 2.32, 10.4, 0.821, 16.8, 0.00, 0.00, 0.00, 0.00, 0.00, 0.00

Catchment Details

Catchment Name, 3709 MUSIC Aug 2018
Timestep, Day
Start Date, 4/12/1972
End Date, 31/08/2010
Rainfall Station, 40496 CALOUNDRA
ET Station, User-defined monthly PET
Mean Annual Rainfall (mm), 1374
Mean Annual ET (mm), 1201

Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Hendriks/House (Caboolture) Pty Ltd

PO Box 60
MORAYFIELD QLD 4506
admin@hendrikshouse.com.au
http://www.hendrikshouse.com.au

ABN 99 062 194 861
Phone (07) 5497 9899
Fax (07) 5498 6692

STORMWATER QUANTITY MANAGEMENT REPORT

Proposed Unit Development
25 - 27 Bowen Avenue, Albany Creek

Prepared for
Michael Sorensen

Amended Plan Required

Approved

.....
J.P.M Hendriks RPEQ 1238

REVISION D

August 2018 (RS)

REF No. – 3709

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Document Control Details

CLIENT Michael Sorensen

REPORT NAME Stormwater Quantity Management Report- Proposed Unit Development

SITE DESCRIPTION Lot 57 on SP155119 and Lot 56 on RP93874
25 - 27 Bowen Avenue, Albany Creek

DOCUMENT 3709 - Stormwater Quantity Management Report Rev D

ISSUE

Author	MH	Reviewer	J.P.M.H RPEQ 1238
Revision	D	Date	23 August 2018
Revision	Date	Comments	
A	May 2014	Submit to Council	
B	Aug 2014	Layout revised	
C	March 2018	Layout revised	
D	August 2018	Layout Revised	

DESCRIPTION Stormwater Quantity Management Report

This Stormwater Quantity Management Report for Lot 57 on SP155119 and Lot 56 on RP93874, 25 - 27 Bowen Avenue, Albany Creek has been prepared solely for the benefit of and use by the Client in accordance with the terms of the engagement. This Report must not be used for any other purpose, or by any other party, nor is the Report to be made available to any other party without the prior written consent of the Client. No part of this document may be reproduced in part or full without the prior, written permission of the Client. This document is and shall remain the property of Hendriks/House (Caboolture) Pty. Ltd. Unauthorised use of this document in any form whatsoever is prohibited.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Table of Contents

1.0	Introduction	3
2.0	Catchment Description	4
3.0	Pre-Development Stormwater Discharge	6
3.1	Catchment.....	6
3.2	Rational Method Calculations.....	6
3.3	Time of Concentration	6
3.4	Coefficient of Discharge.....	7
3.5	Pre - development Discharge.....	8
4.0	Post Development Stormwater Discharge.....	8
4.1	Coefficient of Discharge.....	9
5.0	Detention Provisions	11
5.1	Site Constraints.....	11
5.2	Detention Tank Design	11
5.3	Attenuated Post Development Discharge.....	12
6.0	Two Dimensional Flow Model.....	14
6.1	Creek and Open Drain Peak Flow Rates.....	14
6.2	Pre-development Simulation	15
6.3	Post - Development Simulation.....	16
6.4	Simulation Sensitivity.....	17
6.5	Flow Rate Comparison.....	17
7.0	Conclusions	17
	Appendix A.	18
	Appendix B.	19
	Appendix C.	22

Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)
3709 - STORMWATER QUANTITY MANAGEMENT REPORT

1.0 Introduction

Site Description – Lot 57 on SP155119 and Lot 56 on RP93874

This report has been prepared on behalf of the owner, Michael Sorensen, of 25 - 27 Bowen Avenue, Albany Creek, to accompany the development application in the Moreton Bay Regional Council (MBRC), Pine Rivers Planning Scheme. The proposed development is a unit development on a Residential allotment.

The report has been prepared to provide the following:

- Drainage report with calculations demonstrating not-worsening by the proposed development to control post development stormwater flows to pre development levels for all storm events up to and including a 100 year ARI storm event.
- Determine the flood impact on adjacent properties.

Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

2.0 Catchment Description

The subject site is situated at 25-27 Bowen Avenue Albany Creek and has an area of 2987m². The external catchment at the verge of Bowen Avenue has been included in the stormwater mitigation modelling. The part of the site north east of the sewer easement to Sandy creek and the portion north of the units to the open drain, with an area of 1397m² will not be developed and has been excluded from the stormwater mitigation modelling.

The existing site, shown in Appendix A, is bounded on the south west by Bowen Avenue and east by Sandy Creek. Adjacent to the southern and western boundaries are residential allotments and an open drain along the northern boundary. The site drains to the open drain and Sandy Creek which is the lawful point of discharge. The existing cover of the site is average grassed surface garden with two residential dwellings.



Figure 2.1: Site Locality (MBRC Flood Explorer)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

The location and boundaries of the catchment are shown in Figure 2.2.



Figure 2.2: Catchment Layout

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

3.0 Pre-Development Stormwater Discharge

The subject site discharge has been calculated using the Rational Method. Rational Method calculations are summarised in Appendix B

3.1 Catchment

The subject site catchment stormwater runoff hydrology is shown in drawing 3709/SK02 in Appendix A. The effective catchment runoff attenuated by the detention storage has been defined as the site boundaries, a small external catchment west of the site labelled as SUB2 and proposed paved verge cross over labelled as SUB3. The total catchment area is 0.184ha. The lawful point of discharge is Sandy Creek along the eastern development boundary.

3.2 Rational Method Calculations

The time of concentration (t_c) of a catchment is defined as the time required from the start of a design storm for surface runoff to collect and flow from the most remote part which is the ridge behind back of kerb at the proposed developments access driveway at Bowen Avenue. It's assumed that for a given design storm frequency the peak flow at the catchment outlet will result from a storm of duration equal to the time of concentration.

The *standard inlet times* for developed catchments is recommended by MBRC and QUDM because of the uncertainty related to the calculation of time of overland flow. The *standard inlet time* is defined as the travel time from the top of the catchment to a location where the *first gully or field inlet would normally be expected*.

3.3 Time of Concentration

Standard Inlet time of 13 minutes has been adopted for flow path 'A' defined as from the top of the external catchment to where the first gully normally expected. The external catchment is urban residential with an average slope of 4% along flow path 'A'.

The remaining flow paths 'B' and 'C' to the eastern boundary is surface flow with an slope of 4.82% and 46.43% respectively. An average expected velocities of 0.9m/s and 3m/s has been adopted for flow path 'B' and 'C' with path length of 27m and 5.6m respectively.

Therefore, the adopted time of concentration is calculated as follows:

Path A: Std Inlet time = 21m @ 4% = 13 minutes
 Path B: Surface flow – 27m @ 4.82% @ 0.9m/s = 0.5 minutes
 Path C: Surface flow – 5.6m @ 46.43% @ 3.0m/s = 0.03 minutes

The total pre-development **time of concentration** for the site is **13.5 minutes**. Detailed time of concentration calculations are shown in Appendix B.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

3.4 Coefficient of Discharge

The pre-development catchment has been divided in sub catchments and the adopted fraction impervious and **coefficient of discharge** for each sub catchment are shown in Table 3.1.

Sub Catchment	Description	Fraction Impervious	Coefficient of Discharge, C
SUB1	External Catchment (Road reserve)	0.15	0.71
SUB2	External Catchment (Low Dens. Residential)	0.45	0.77
SUB3	Open Space (Site West of Sewer)	0	0.66

Table 3.1: Coefficient of Discharge

The Rational Method has been used to determine the pre-development stormwater runoff. Rainfall intensities for the 1, 2, 5, 10, 20, 50 and 100 year recurrence intervals with a time of concentration of 13.5 minutes are shown in Table 3.2 below.

ARI (year)	Rainfall Intensity (mm/h)
100	215.72
50	194.12
20	166.23
10	145.31
5	129.92
2	103.86
1	81.20

Table 3.2: Pre - Development Rainfall Intensities

Discharges have been calculated using parameters as outlined above.

$$Q_{y \text{ peak}} = (2.78 \times 10^{-3}) \times F_y \times [\sum (C_{yi} \times A_i)] \times I_y \text{ (m}^3\text{/s)}$$

where:

$Q_{y \text{ peak}}$ = peak flow rate (m³/s) for average recurrence interval (ARI) of 'y' years

F_y = Frequency Factor for ARI of 'y' years

C_{yi} = coefficient of discharge (dimensionless) for ARI of 'y' years for a particular sub catchment.

A_i = area of sub catchment (ha)

I_y = average rainfall intensity (mm/h) for a design duration of 't' hours and an ARI of 'y' years.

t = the nominal design storm duration as defined by the *time of concentration* (t_c) – refer to QUDM Section 4.06

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

Q_{100 Peak} flow rate at downstream boundary:

$$Q_{100 \text{ peak}} = 2.78 \times 10^{-3} \times 1.2 \times 0.123 \times 215.72 = 0.088 \text{ m}^3/\text{s}$$

The pre-development peak flow rates are summarised in Table 3.3 below.

ARI (year)	Pre Development Flow Rate (m ³ /s)
100	0.088
50	0.076
20	0.060
10	0.050
5	0.042
2	0.030
1	0.022

Table 3.3: Pre-Development Peak Flow Rates

Detailed pre- development flow rate calculations have been shown in Appendix B.

3.5 Pre - development Discharge

The subject site pre-development runoff flows over the northern and eastern boundaries into an existing open drain and Sandy Creek respectively. The post development runoff will be attenuated below pre-development flow rates for the 1 to 100 year recurrence interval.

4.0 Post Development Stormwater Discharge

The Rational Method has been used to determine the pre and post development discharges from the site and the attenuation required. These calculations are shown on the spreadsheet contained in Appendix B. The catchment runoff will be collected with grated pits and roof water gutters then discharged into the proposed detention tank.

Standard Inlet time of 5 minutes has been adopted for flow path 'A' defined as road surface to the first gully. The external catchment is urban residential with an average slope of 4% along flow path 'A'.

The remaining flow path 'B' to the eastern boundary is pipe flow with an slope of 0.04m/m. An average expected velocities of 2.74m/s within a 300 diameter pipe has been adopted for flow path 'B' with path length of 97m.

Therefore, the adopted time of concentration is calculated as follows:

Path A: Std Inlet time (Road surface) = 5 minutes
Path B: Pipe flow – 97m @ 0.04m/m @ 2.74m/s = 0.6 minutes

The total post-development **time of concentration** for the site is **5.6 minutes**. Detailed time of concentration calculations are shown in Appendix B.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

4.1 Coefficient of Discharge

The post-development catchment has been divided in sub catchments and the adopted fraction impervious and **coefficient of discharge** for each sub catchment are shown in Table 4.1.

Sub Catchment	Description	Fraction Impervious	Coefficient of Discharge, C
A1	Roof and ground surface NW	1.0	0.90
A2	50% Roof surface fall N	1.0	0.90
A3	50% Roof surface fall S	1.0	0.90
A4	Driveway and car park	1.0	0.90
A5	External Catchment (Road Reserve)	0.15	0.71
A6	External Catchment(Low Dens. Residential)	0.45	0.77

Table 4.1: Coefficient of Runoff

The Rational Method has been used to determine the post development stormwater runoff. Rainfall intensities for 1, 2, 5, 10, 20, 50 and 100 year recurrence intervals with a time of concentration of 5.6 minutes are shown in Table 4.2 below.

ARI (year)	Catchment Rainfall Intensity (mm/hr)
100	301.93
50	272.10
20	233.69
10	204.72
5	183.49
2	147.48
1	115.52

Table 4.2: Post Development Rainfall Intensities

Discharges have been calculated using parameters as outlined above.

$$Q_{y \text{ peak}} = (2.78 \times 10^{-3}) \times F_y \times [\sum (C_{yi} \times A_i)] \times t_{ly} \text{ (m}^3\text{/s)}$$

$$Q_{100 \text{ peak}} = 2.78 \times 10^{-3} \times 1.2 \times 0.161 \times 301.93 = 0.151 \text{ m}^3\text{/s}$$

The post development peak flow rates are summarised in Table 4.3 below.

ARI (year)	Post-Development Catchment Flow Peak (m ³ /s)
100	0.151

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

100	0.143
50	0.129
20	0.104
10	0.087
5	0.074
2	0.053
1	0.039

Table 4.3: Post Development Peak Flow Rates

A detention tank will be constructed below the basement car park to attenuate the post-development discharge to below pre-development conditions.

All stormwater pipes convey flows to the detention tank will have a 20 year ARI capacity. Stormwater pipes from the detention tank to the proposed development discharge location have been designed to mitigate runoff up to the 100 year ARI runoff.

Flow comparisons for pre-development and post-development discharge have been summarised in Table 4.4.

ARI (year)	Pre-Development Catchment Discharge (m ³ /s)	Post-Development Catchment Discharge (m ³ /s)	Attenuation Required (m ³ /s)
100	0.088	0.143	0.055
50	0.076	0.129	0.053
20	0.060	0.104	0.044
10	0.050	0.087	0.037
5	0.042	0.074	0.032
2	0.030	0.053	0.023
1	0.022	0.039	0.017

Table 4.4 Detention Tank attenuation required.

Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

5.0 Detention Provisions

It is proposed to construct a detention tank below the car park of the proposed development. The detention tank will provide adequate attenuation to reduce post development flows to the pre development flows from 1 year up to and including a 100 year ARI rainfall event. The details for the proposed detention tank is shown in Appendix A on drawing 3709 / SK03.

5.1 Site Constraints

The detention will consist of a 133kL concrete tank. Contained within the detention tank will be 10 Storm360 Stormfilter. The calculated detention tank water storage depth has been summarised in Table 5.1 below.

ARI (year)	Tank Storage Level (m)	Tank Storage Depth (m)
100	15.026	1.326
50	14.864	1.164
20	14.680	0.980
10	14.520	0.820
5	14.405	0.705
2	14.220	0.520
1	14.090	0.390

Table 5.1: Detention Tank Storage Depth

5.2 Detention Tank Design

The detention tank details are as follows -

- Free drainage floor
- Storage: 100sqm tank total internal depth 1.3m at min RL13.700m AHD
- Outlet1: 1 x 150Ø PVC pipe @ RL 13.700m AHD
- Outlet2: 1 x 150Ø PVC pipe @ RL 14.250m AHD
- Max detention water depth @ Q100: 1.326m

A summary of the proposed detention capacity is summarised in Table 5.2

Elevation (RL m AHD)	Area (m ²)	Cumulative Volume (m ³)
13.700	102.9	0
15.300	102.9	153.0

Table 5.2: Detention Tank Volume Summary

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

5.3 Attenuated Post Development Discharge

XPRafts was used to determine the detention tank hydrographs during a range of standard design storms, as defined by Australia Rainfall and Runoff, Volume 2. Design storms with ARI's of 100, 50, 20, 10, 5, 2 and 1 years were simulated, for 10 minute to 2 hours storm durations. The critical storm duration for each ARI event has been determined as the duration which requires the largest detention storage. The critical storm duration of 60 minute has occurred for all ARI's and shown in Appendix C.

The hydrographs for these events are included in Appendix C attached to this report. The pervious surfaces north of the sewer easement has been excluded from the calculations and discharge direct to Sandy Creek. Roof gutters will be designed to cater for the 20 year ARI. The gutter overflow from Units 1 to 5 to the north east during the 50 and 100 year ARI is insignificant to be excluded from the detention inflow hydrographs. The allowable discharge from the detention tank has been calculated with the Rational Method. The detention tank maximum allowable discharge makes provision for gutter overflow not mitigated as shown with calculation in Appendix B.

The detention tank will discharge to Sandy Creek. The detention tank capacity has been calculated to comply to peak flowrate discharges from the site is less than pre-development flows with the allowance for roof gutter overflow to the north east from Units 1 to 5. The Rational Method peak flowrates have been shown in Table 5.3 below.

ARI (year)	100	50	20	10	5	2	1
Pre-Development Peak	0.088	0.076	0.060	0.050	0.042	0.030	0.022
Post-Development Peak	0.143	0.129	0.104	0.087	0.074	0.053	0.039
Attenuation Required	0.055	0.053	0.044	0.037	0.032	0.023	0.017
Roof Runoff (Units 1-5 to NE)	0.057	0.051	0.042	0.035	0.030	0.021	0.016
Gutter Overflow (Units 1-5 to NE)	0.015	0.010	0	0	0	0	0
Allowable Discharge from Detention Tank	0.073	0.066	0.044	0.037	0.032	0.023	0.017

Table 5.3: Rational Method Peak Flowrates

Allowable discharge from detention tank = Pre-Development Peak - Direct flow to Creek (Gutter overflow from Units 1 to 5 north east).

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)
3709 - STORMWATER QUANTITY MANAGEMENT REPORT

A summary of flows and detention performance for the detention tank is shown in Table 5.4.

ARI year	Pre Dev. Rational Method (m ³ /s)	Post Dev. Rational Method (m ³ /s)	Atten'n required (m ³ /s)	Post Dev. Calib. Flow (m ³ /s)	Tank Discharge to Creek (m ³ /s)	Direct Flow to Creek (m ³ /s)	Total Discharge (m ³ /s)	Atten'n achieved (m ³ /s)
100	0.088	0.143	0.055	0.208	0.064	0.004	0.068	0.149
50	0.076	0.129	0.053	0.188	0.053	0.003	0.056	0.132
20	0.060	0.104	0.044	0.173	0.048	0	0.048	0.125
10	0.050	0.087	0.037	0.150	0.043	0	0.043	0.107
5	0.042	0.074	0.032	0.133	0.040	0	0.040	0.093
2	0.030	0.053	0.023	0.108	0.033	0	0.033	0.075
1	0.022	0.039	0.017	0.085	0.027	0	0.027	0.058

Table 5.4: Detention Tank Attenuation

The utilised detention capacity of the detention tank is 135.3 cubic metres with the Q100 water surface elevation of RL15.026m AHD.

The proposed detention tank achieves the required attenuation to ensure that the post development discharge is no worse than the pre-development discharge.

Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)
3709 - STORMWATER QUANTITY MANAGEMENT REPORT

6.0 Two Dimensional Flow Model

TUFLOW has been used to determine the Q100 and Q20 flood impact on the proposed development and adjacent properties. Sandy Creek and open drain are along the developments eastern and northern boundary. The runoff from the Lower Pine River upstream catchment traverses the subject site. Units in the proposed development will be constructed with a suspended floor above the Q100 water surface with a minimum freeboard of 300mm. Floor surface sections have shown on drawing 3709/SK05 in Appendix A.

6.1 Creek and Open Drain Peak Flow Rates

The upstream catchment to Greensill Road and James Cash Court has been analysed. The catchment is shown in figure 6.1. The results of this analysis have been used to determine the impact of the upstream catchment on the site. Flood levels at 27 Bowen Avenue and 48 Wilson Avenue Albany Creek have been obtained from MBRC Flood Check Property reports and Flood Explorer on 14 May 2014 to be used as a reference in flow rate calculations. Each cross section in the flow path as shown in Figure 6.2 below, has been used as an irregular section in Flow Master. The flow channel slopes of 0.004 m/m and 0.0031 m/m for Sandy Creek and the open drain respectively has been determine from 2009 LIDAR data obtained from DERM. A Manning's n value of 0.15 has been used across each cross section. The calculated Q100 and Q20 peak flow rates have shown in Table 6.1 below and will be used as upstream boundary condition during TUFLOW simulations.



Figure 6.1: Upstream Catchment

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

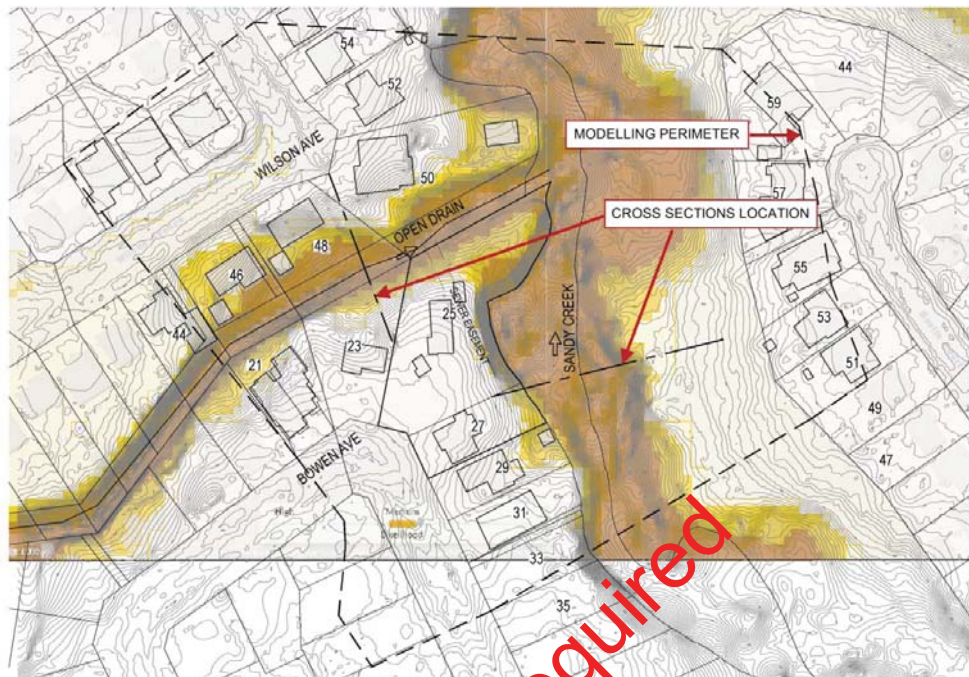


Figure 6.2: Peak Flow Rate Cross Sections

ARI (year)	Q20 Flood Height (m)	Q20 Peak Flow Rate (m ³ /s)	Q100 Flood Height (m)	Q100 Peak Flow Rate (m ³ /s)
Sandy Creek Open Drain	14.2	25.18	14.5	32.16
	14.0	8.49	14.4	12.46

Table 6.1: Upstream Boundary Peak Flow Rates

6.2 Pre-development Simulation

A pre-development two dimensional flow simulation was done with a Q100 and Q20 tail water level of 14.3m and 14.0m respectively as the downstream boundary condition. This maximum flood heights have been obtained from MBRC Flood Search of Lot91 RP93874 also known as 52 Wilson Avenue. The MBRC Flood Map is shown in Figure 6.3.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

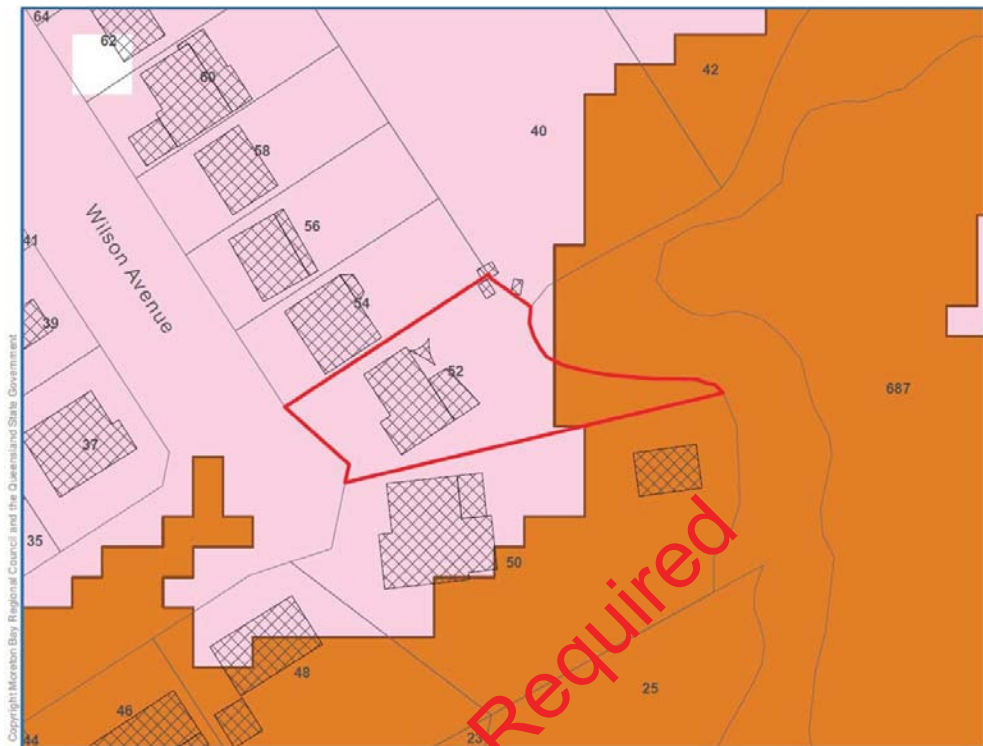


Figure 6.3: MBRC Flood Map of 52 Wilson Avenue

The pre-development simulation was done on a grid size of 1m and time step of 0.5 seconds. The Manning's n selection has been based on MBRC floodway recommended value of 0.15.

The TUFLOW pre-development Q100 and Q20 flood extents with flow depths have been shown on drawing 3709/SK06 in Appendix A.

The TUFLOW Q100 maximum velocity and velocity depth product at calculated at every grid element have been shown on drawings 3709/SK07 and 3709/SK08 respectively in Appendix A.

6.3 Post - Development Simulation

A post - development simulation was done with a grid size of 1m, time step of 0.5 second. The bioretention will be constructed below the Q100 flood extended and has been included in the simulation. The post development two dimensional flow simulation was done with a Q100 and Q20 tail water level of 14.3m and 14.0m respectively as the downstream boundary condition

The TUFLOW Post development Q100 and Q20 flood extents with flow depths have been shown on drawing 3709/SK09 in Appendix A. The TUFLOW Q100 maximum velocity and velocity depth product as calculated at every grid element has been shown on drawings 3709/SK10 and 3709/SK11 respectively in Appendix A.

The Q100 pre- and post-development velocity afflux and flow depth afflux have been calculated between wet modelling nodes. A flow depth Afflux less than 1cm

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

has been notice at the bioretention locality and within the proposed development..
A flood velocity Afflux less than 0.05m/s has been notice at the bioretention locality and within the proposed development.

The Q100 flood elevation and velocity afflux have been shown drawings 3709/SK12 and 3709/SK13 respectively.

6.4 Simulation Sensitivity

As a check, a sensitivity analysis was simulated with a 10% increased in flow rate as the upstream boundary condition. From the result there was no change in flood extent due to the topography of the site which indicates a non- significant inundation with the 10% flow rate increased at the upstream boundary condition. Based on this result, we conclude that the model is not relatively sensitive to changes in upstream flow rate at the area of interest.

The TUFLOW post development Q100 and Q20 flood extents with flow depths for the flow rate increase as an upstream boundary condition have been shown on drawing 3709/SK14 in Appendix A.

6.5 Flow Rate Comparison

The peak flow rates were also recorded at the open drain and Sandy Creek confluence.

ARI (year)	Pre-Development Peak Flow Rate (m ³ /s)	Post-Development Peak Flow Rate (m ³ /s)	Post-Development Sensitivity Analysis Peak Flow Rate (m ³ /s)
100	44.553	44.552	49.064
20	33.904	33.904	37.694

Table 6.2: Flow Rates (1m grid)

7.0 Conclusions

This proposed stormwater management report demonstrates non-worsening by the proposed development of post - development stormwater flows compare to pre - development levels for all storm events up to and including a 100 year ARI storm event.

The stormwater inlet to the bioretention basin will be protected with grouted rock pitching.

The proposed development has no flood depth and velocity afflux on adjacent properties.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

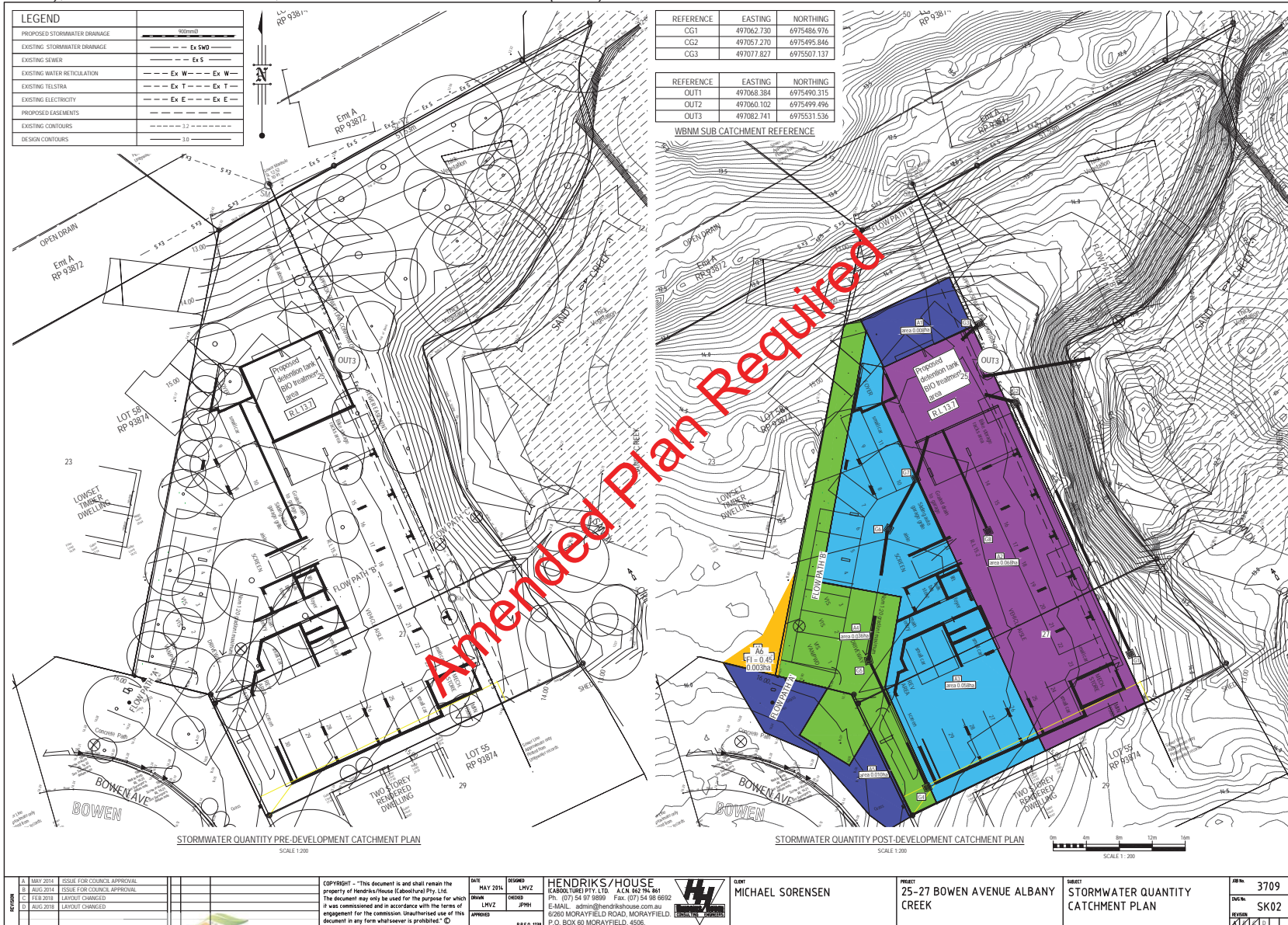
Appendix A.

Drawings

- 3709 / SK02 – Stormwater Quantity Catchment Plan
- 3709 / SK03 - Stormwater Management Plan
- 3709 / SK06 – Pre-Development Inundation Plan
- 3709 / SK07 – Pre-Development Q100 Maximum Velocity Plan
- 3709 / SK08 - Pre-Development Q100 Velocity Depth Product Plan
- 3709 / SK09 – Post-Development Inundation Plan
- 3709 / SK10 – Post-Development Q100 Maximum Velocity Plan
- 3709 / SK11 - Post-Development Q100 Velocity Depth Product Plan
- 3709 / SK12 - Q100 Flood Elevation Afflux Plan
- 3709 / SK13 - Q100 Flood Velocity Afflux Plan
- 3709 / SK14 - Post-Development Sensitivity Analysis Inundation Plan

Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



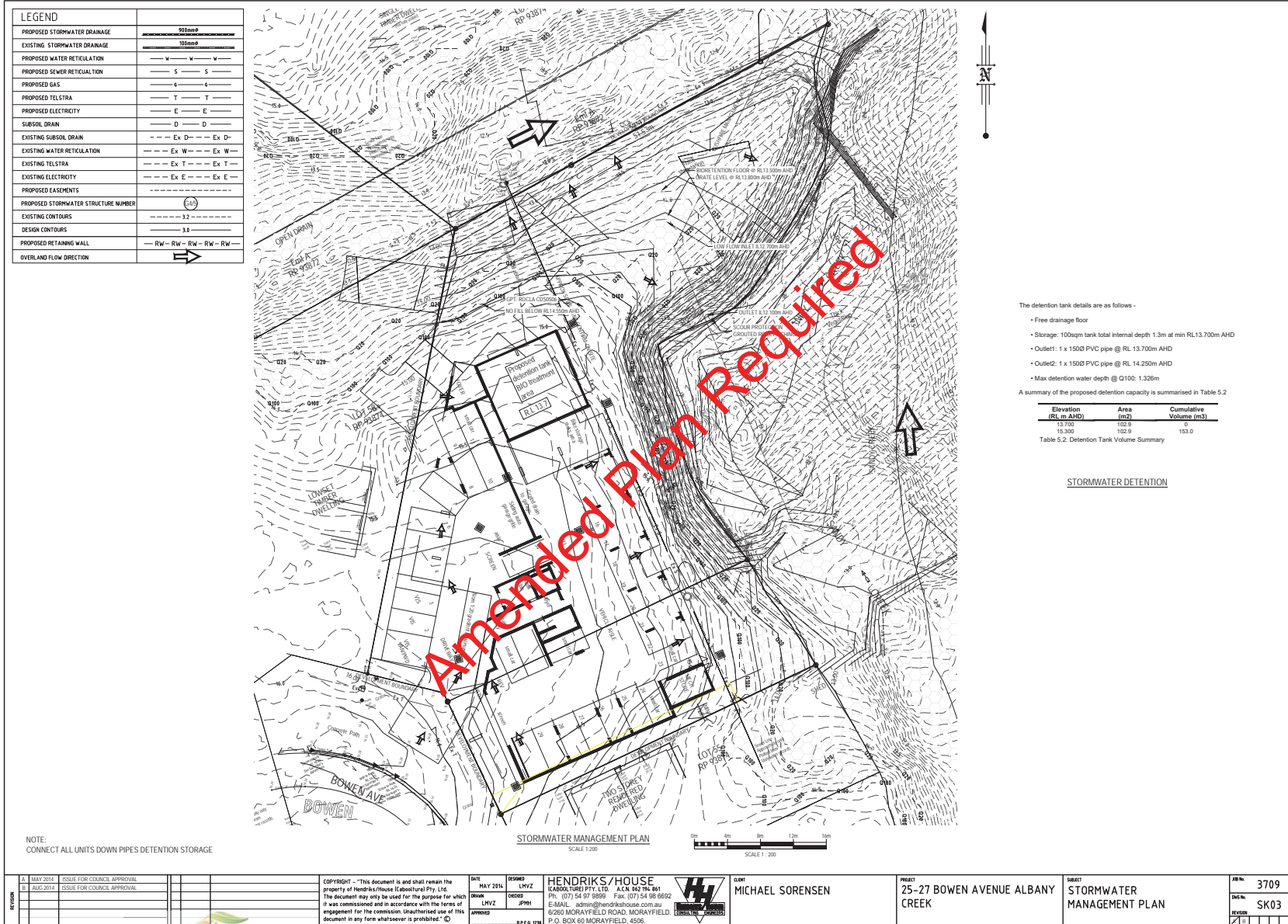
Amended Plan Required

<table border="1"> <tr> <td>REVISION</td> <td>A</td> <td>MAY 2014</td> <td>ISSUE FOR COUNCIL APPROVAL</td> </tr> <tr> <td></td> <td>B</td> <td>AUG 2014</td> <td>ISSUE FOR COUNCIL APPROVAL</td> </tr> <tr> <td></td> <td>C</td> <td>FEB 2018</td> <td>LAYOUT CHANGED</td> </tr> <tr> <td></td> <td>D</td> <td>AUG 2018</td> <td>LAYOUT CHANGED</td> </tr> </table>	REVISION	A	MAY 2014	ISSUE FOR COUNCIL APPROVAL		B	AUG 2014	ISSUE FOR COUNCIL APPROVAL		C	FEB 2018	LAYOUT CHANGED		D	AUG 2018	LAYOUT CHANGED	COPYRIGHT - "This document is and shall remain the property of Hendriks/House (Australia) Pty. Ltd. The document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited."	<table border="1"> <tr> <td>DATE</td> <td>MAY 2014</td> <td>DESIGNED</td> <td>LHWZ</td> </tr> <tr> <td>DRAWN</td> <td>JP991</td> <td>CHECKED</td> <td>JP991</td> </tr> <tr> <td>APPROVED</td> <td>JP991</td> <td>DATE</td> <td>22 FEB 2018</td> </tr> </table>	DATE	MAY 2014	DESIGNED	LHWZ	DRAWN	JP991	CHECKED	JP991	APPROVED	JP991	DATE	22 FEB 2018	HENDRIKS/HOUSE (A/BA0001) PTY. LTD. ACN 862 946 861 7th / 1071 SA ST BRISBANE QLD 4000 E-MAIL: admin@hendriks.house.com.au 6250 MORAYFIELD ROAD, MORAYFIELD P.O. BOX 60 MORAYFIELD, 4506	CLIENT: MICHAEL SORENSEN	PROJECT: 25-27 BOWEN AVENUE ALBANY CREEK	SUBJECT: STORMWATER QUANTITY CATCHMENT PLAN	JOB NO: 3709 Dwg No: SK02
REVISION	A	MAY 2014	ISSUE FOR COUNCIL APPROVAL																																
	B	AUG 2014	ISSUE FOR COUNCIL APPROVAL																																
	C	FEB 2018	LAYOUT CHANGED																																
	D	AUG 2018	LAYOUT CHANGED																																
DATE	MAY 2014	DESIGNED	LHWZ																																
DRAWN	JP991	CHECKED	JP991																																
APPROVED	JP991	DATE	22 FEB 2018																																

Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



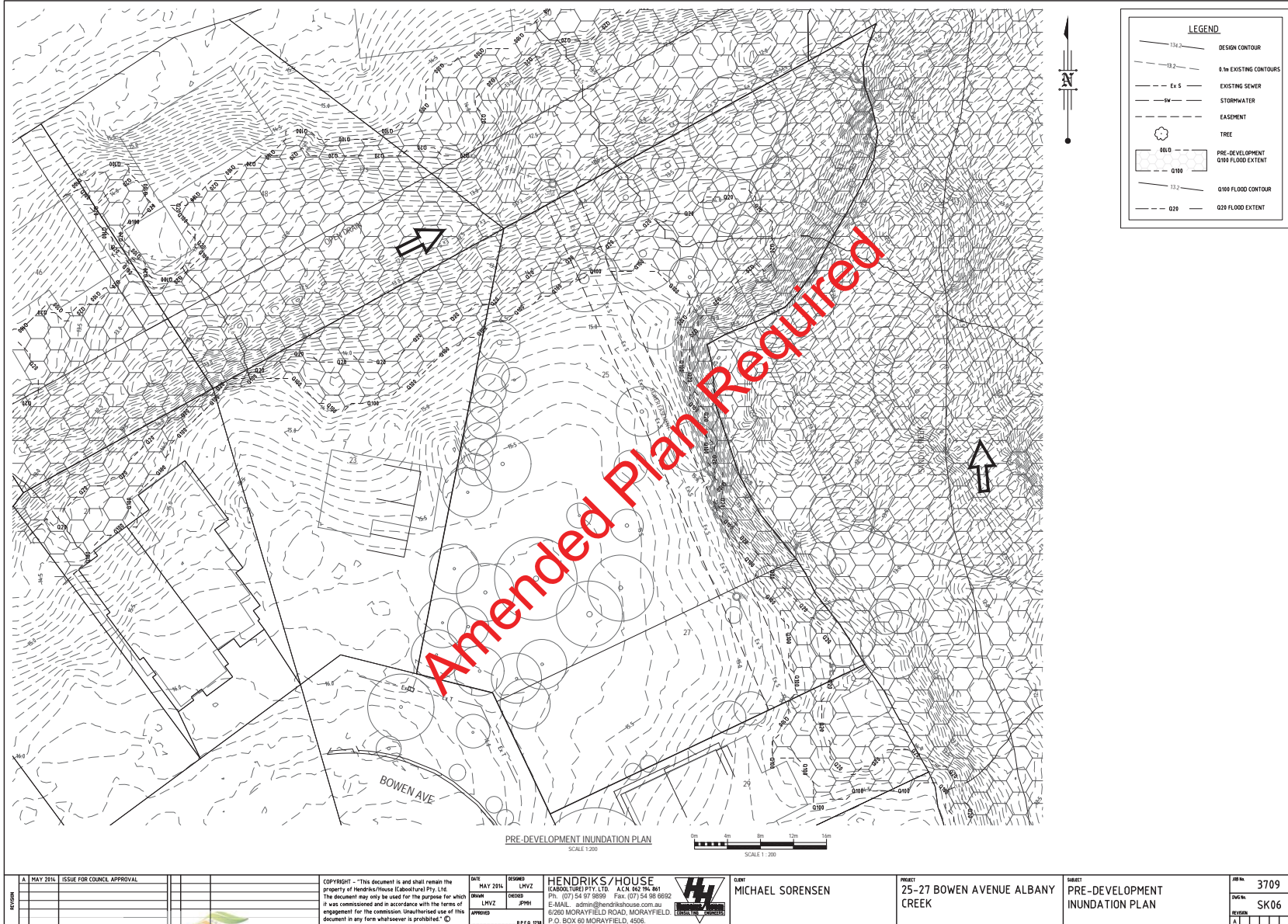
Amended Plan Required

<table border="1"> <tr> <td>REVISION</td> <td>1</td> <td>MAY 2014</td> <td>ISSUE FOR COUNCIL APPROVAL</td> </tr> <tr> <td></td> <td>2</td> <td>AUG 2014</td> <td>ISSUE FOR COUNCIL APPROVAL</td> </tr> </table>	REVISION	1	MAY 2014	ISSUE FOR COUNCIL APPROVAL		2	AUG 2014	ISSUE FOR COUNCIL APPROVAL	COPYRIGHT - "This document is and shall remain the property of Hendriks/House (Agriculture) Pty. Ltd. The document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited." ©	DATE: MAY 2014 DESIGNED: LHWZ DRAWN: JPHH CHECKED: JPHH APPROVED: JPHH REF: 1218	HENDRIKS/HOUSE (Agriculture) Pty. Ltd. A/CN 862 796 861 Ph: 077 54 07 8899 Fax: 077 54 98 8502 E-MAIL: admin@hendriks.house.com.au 6250 MORAYFIELD ROAD, MORAYFIELD P.O. BOX 60 MORAYFIELD, 4506	CLIENT: MICHAEL SORENSEN	PROJECT: 25-27 BOWEN AVENUE ALBANY CREEK	SUBJECT: STORMWATER MANAGEMENT PLAN	JOB #: 3709 DRAWING #: SK03
REVISION	1	MAY 2014	ISSUE FOR COUNCIL APPROVAL												
	2	AUG 2014	ISSUE FOR COUNCIL APPROVAL												

Not Approved DA/34470/2017/V2M

to be advised

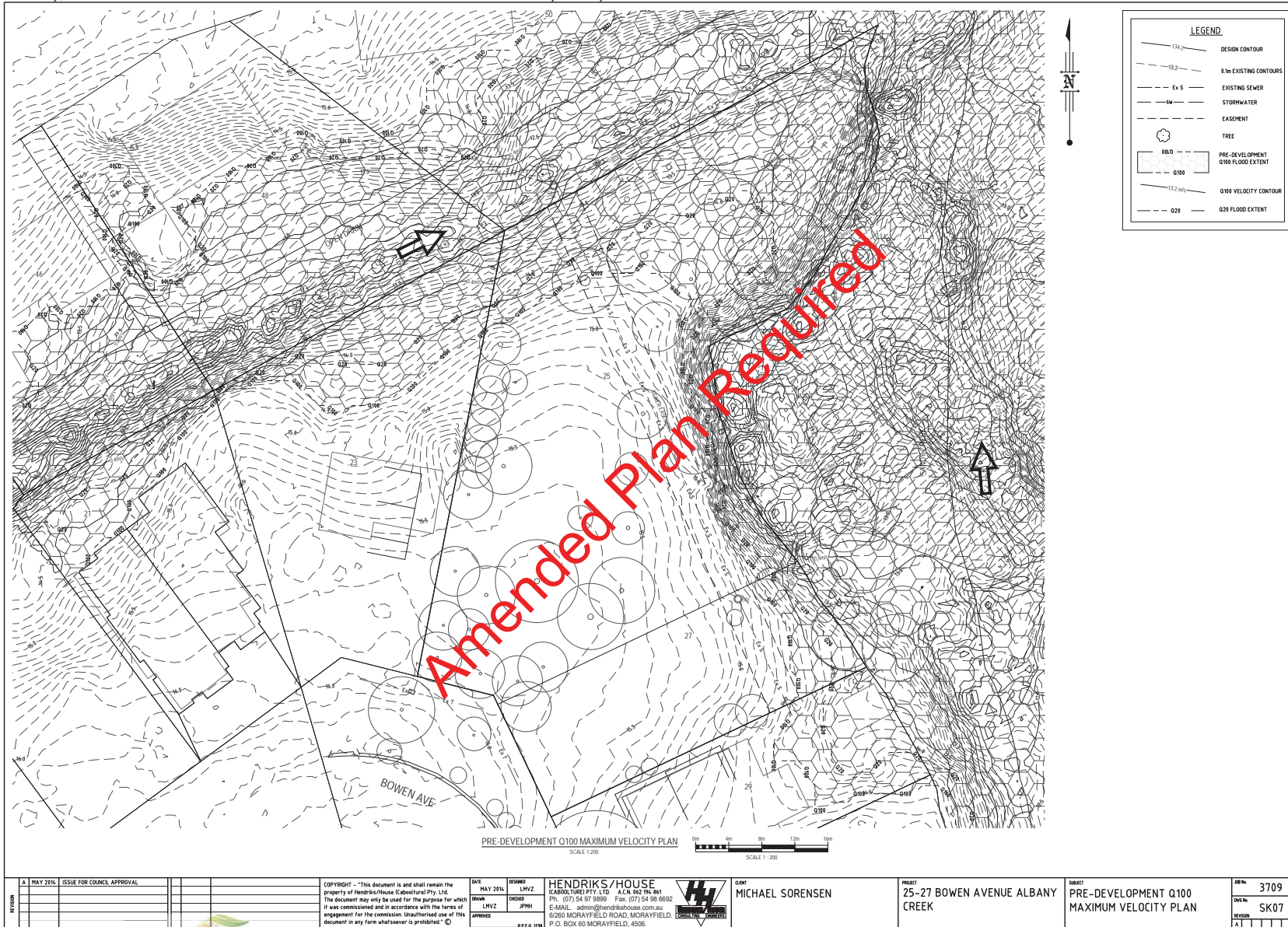
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

to be advised

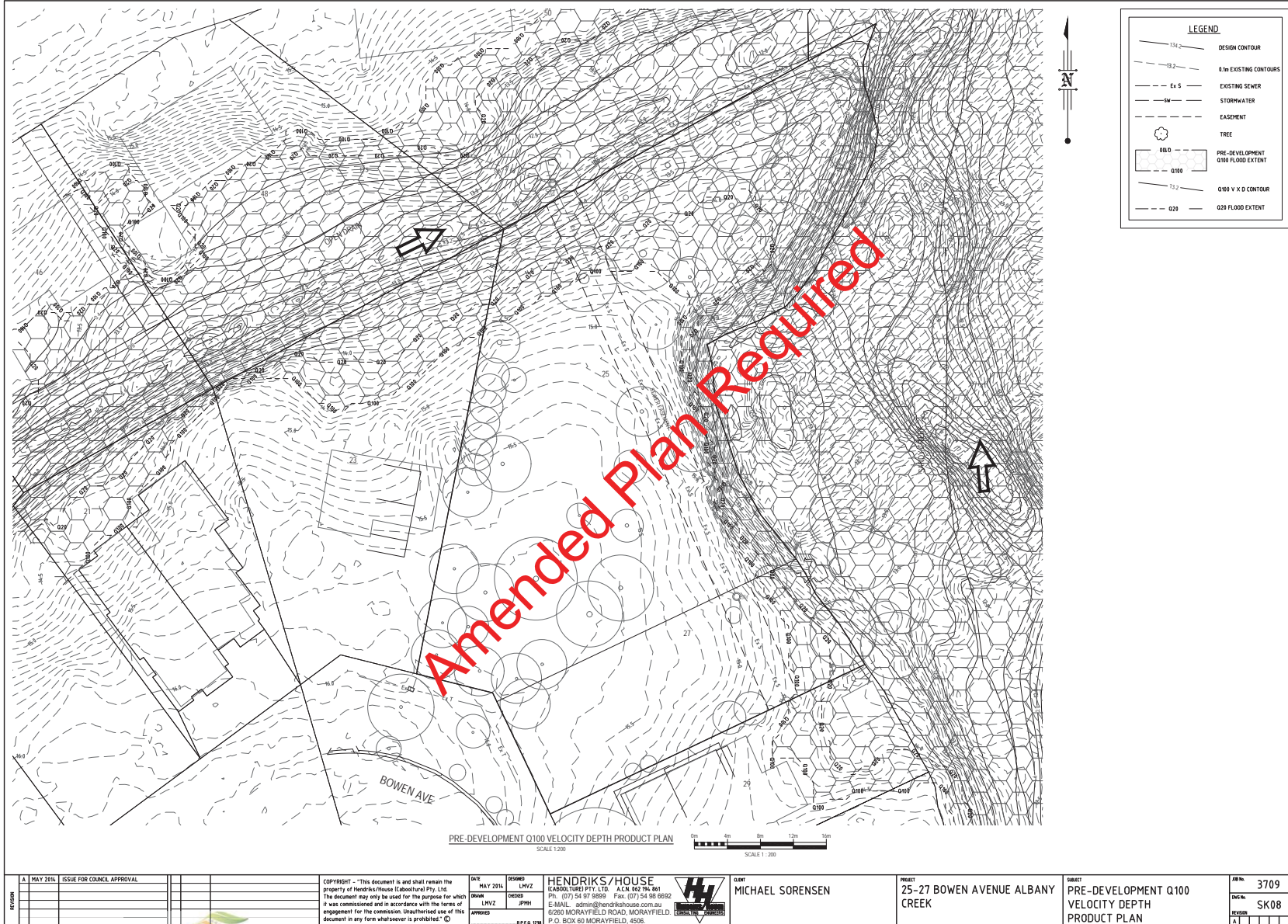
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



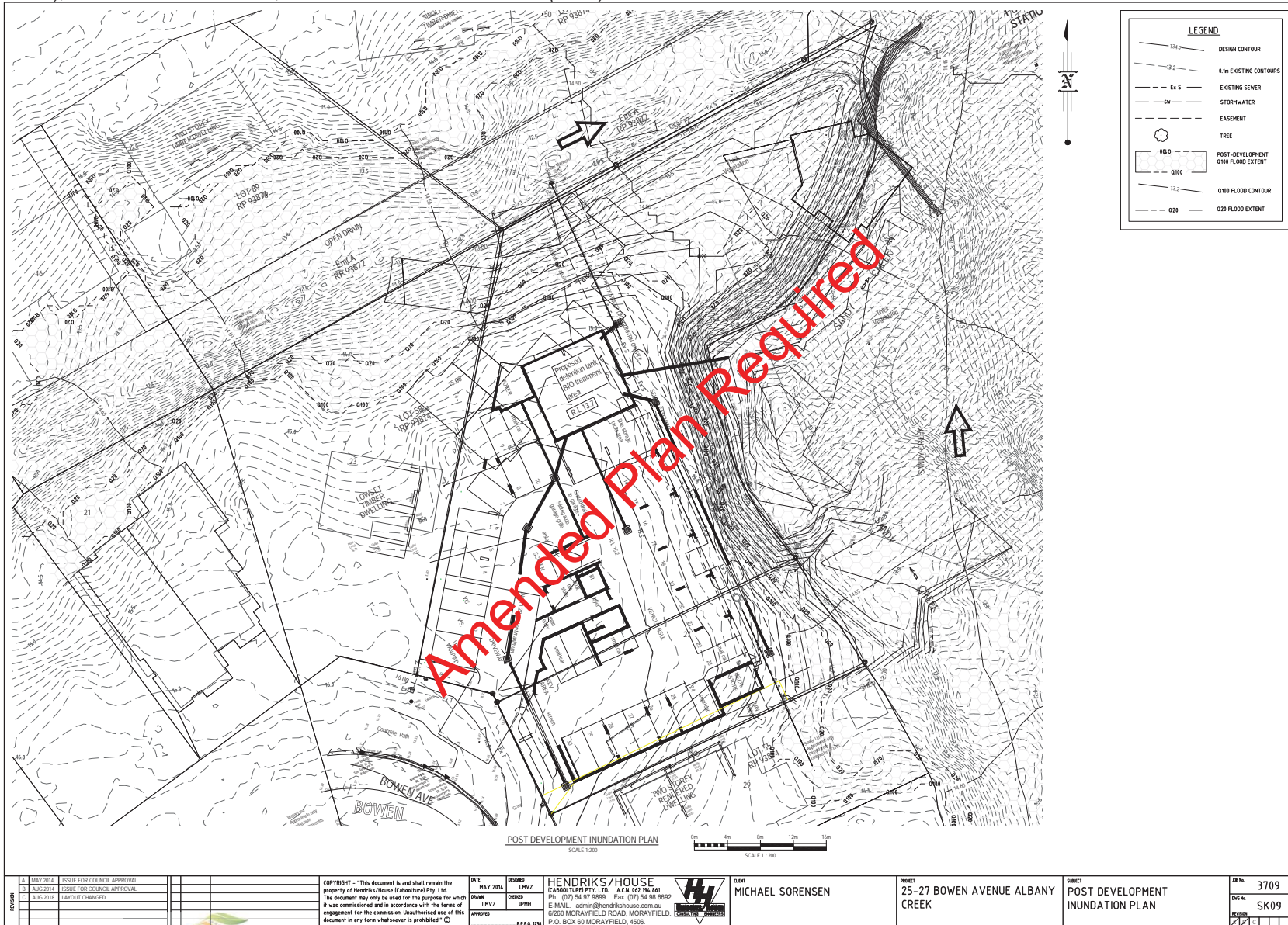
PRE-DEVELOPMENT Q100 VELOCITY DEPTH PRODUCT PLAN
SCALE 1:200

<table border="1"> <tr> <td>REVISION</td> <td>A</td> <td>MAY 2016</td> <td>ISSUE FOR COUNCIL APPROVAL</td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> <tr> <td></td> <td></td> <td></td> <td></td> </tr> </table>	REVISION	A	MAY 2016	ISSUE FOR COUNCIL APPROVAL									COPYRIGHT - "This document is and shall remain the property of Hendriks/House (Agricultural) Pty. Ltd. The document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited."	DATE: MAY 2016 DESIGNED: LHWZ DRAWN: JPPH CHECKED: LHWZ APPROVED: J.P.P. S.P.F. 0.128	HENDRIKS/HOUSE (AGRICULTURE) PTY. LTD. A/CN 662 796 861 7th, 1071 SA 07 8889 Fax: 071 54 98 8592 E-MAIL: admin@hendriks.house.com.au 6250 MORAYFIELD ROAD, MORAYFIELD P.O. BOX 60 MORAYFIELD, 4506	CLIENT: MICHAEL SORENSEN	PROJECT: 25-27 BOWEN AVENUE ALBANY CREEK	SUBJECT: PRE-DEVELOPMENT Q100 VELOCITY DEPTH PRODUCT PLAN	JOB No: 3709 DWG No: SK08 REVISION: 1
REVISION	A	MAY 2016	ISSUE FOR COUNCIL APPROVAL																

Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

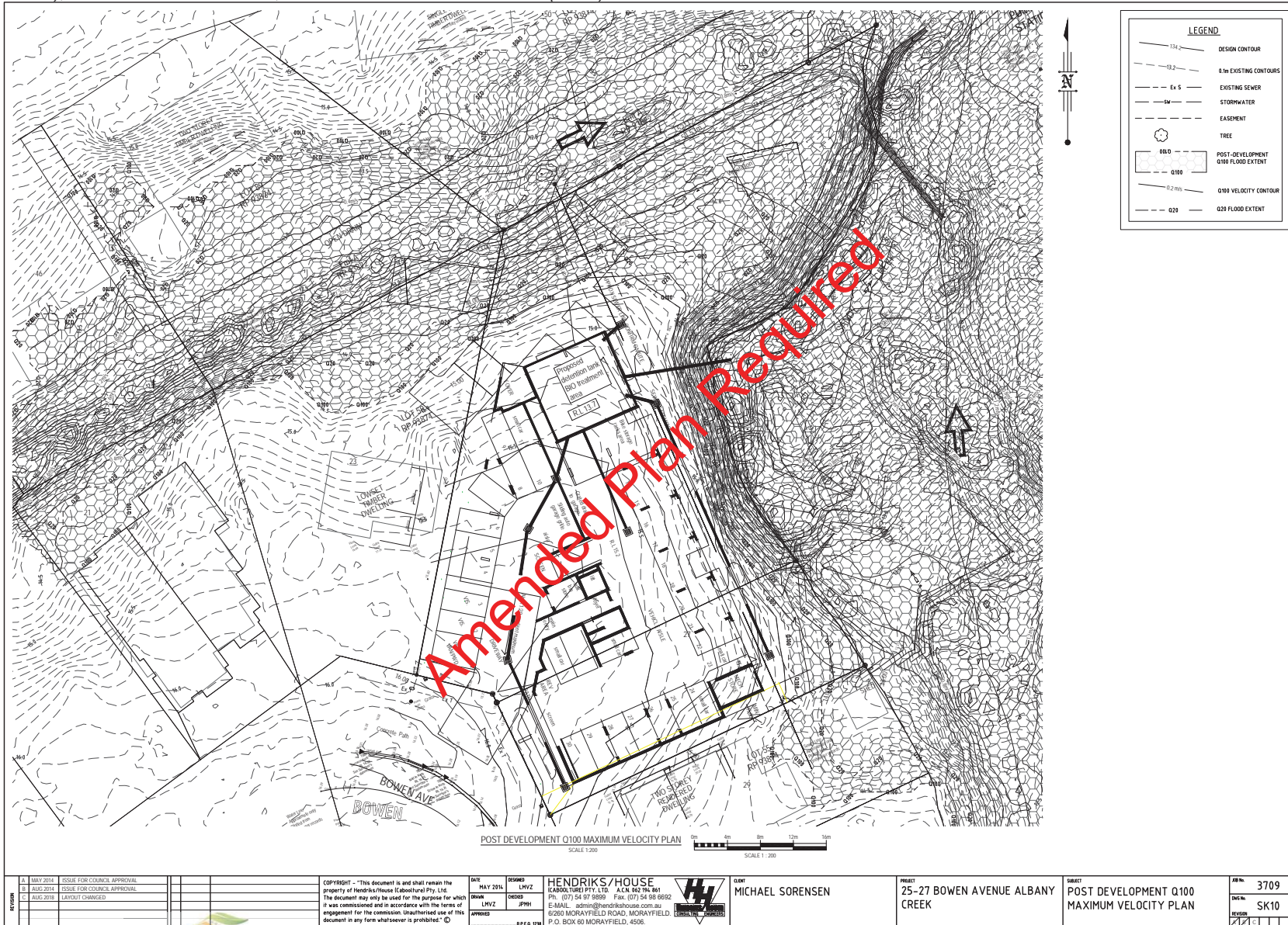


<table border="1"> <tr> <td>REVISION</td> <td>A</td> <td>MAY 2014</td> <td>ISSUE FOR COUNCIL APPROVAL</td> </tr> <tr> <td></td> <td>B</td> <td>AUG 2014</td> <td>ISSUE FOR COUNCIL APPROVAL</td> </tr> <tr> <td></td> <td>C</td> <td>AUG 2018</td> <td>LAYOUT CHANGED</td> </tr> </table>	REVISION	A	MAY 2014	ISSUE FOR COUNCIL APPROVAL		B	AUG 2014	ISSUE FOR COUNCIL APPROVAL		C	AUG 2018	LAYOUT CHANGED	<p>COPYRIGHT - "This document is and shall remain the property of Hendriks/House (Agriculture) Pty. Ltd. The document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited."</p>	<p>DATE: MAY 2014 DESIGNED: LHWZ DRAWN: JPH91 CHECKED: JPH91 APPROVED: A.P.F.C. 1218</p>	<p>HENDRIKS/HOUSE ICABOODURE PTY. LTD. ACN 602 796 861 7th, 107/54 ST 69899 Fax: 071 54 98 8992 E-MAIL: admin@hendriks.house.com.au 6250 MORAYFIELD ROAD, MORAYFIELD P.O. BOX 60 MORAYFIELD, 4506</p>	<p>CLIENT: MICHAEL SORENSEN</p>	<p>PROJECT: 25-27 BOWEN AVENUE ALBANY CREEK</p>	<p>SUBJECT: POST DEVELOPMENT INUNDATION PLAN</p>	<p>DN# 3709 SK09</p>
REVISION	A	MAY 2014	ISSUE FOR COUNCIL APPROVAL																
	B	AUG 2014	ISSUE FOR COUNCIL APPROVAL																
	C	AUG 2018	LAYOUT CHANGED																

Not Approved DA/34470/2017/V2M

to be advised

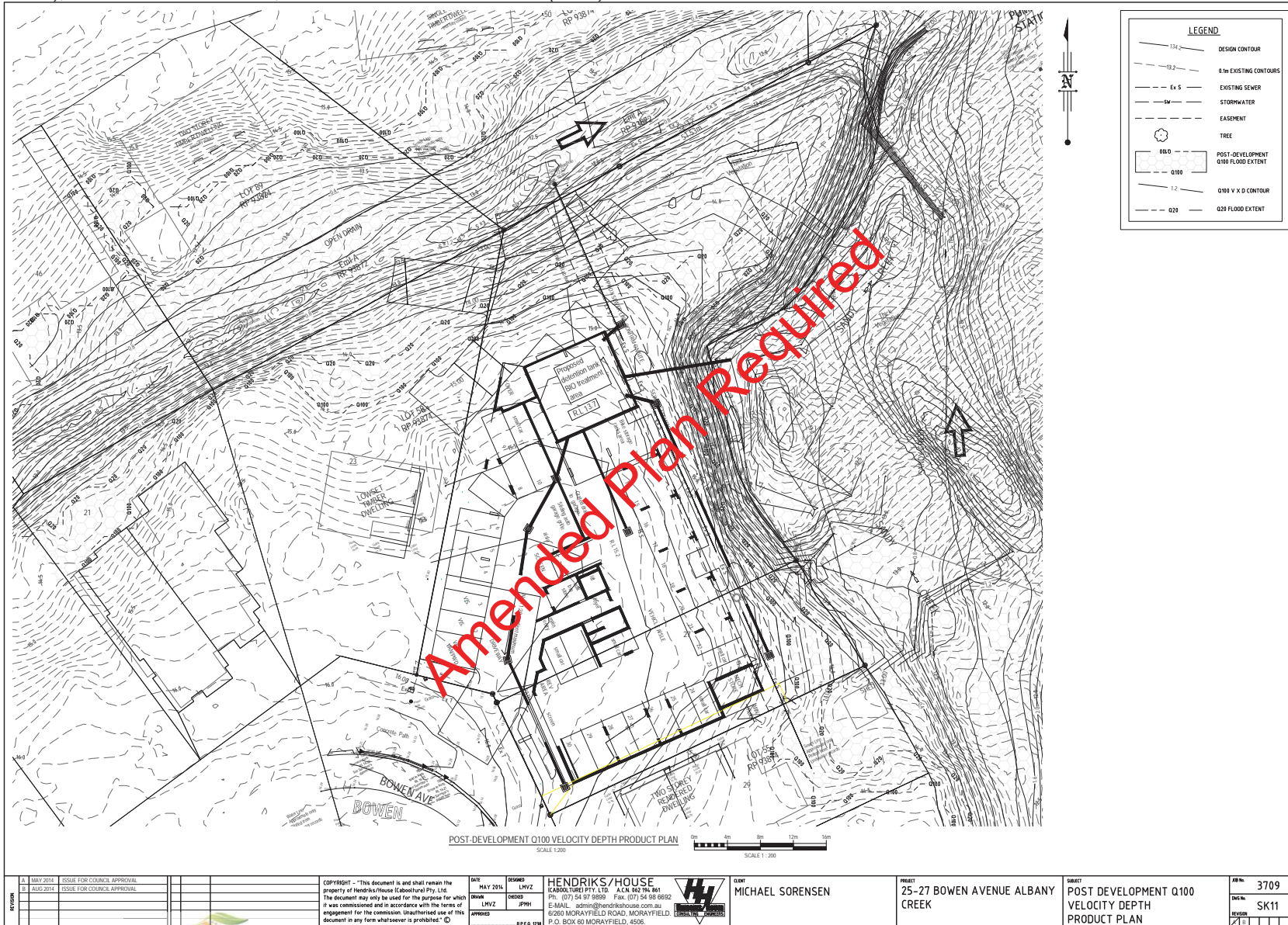
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

to be advised

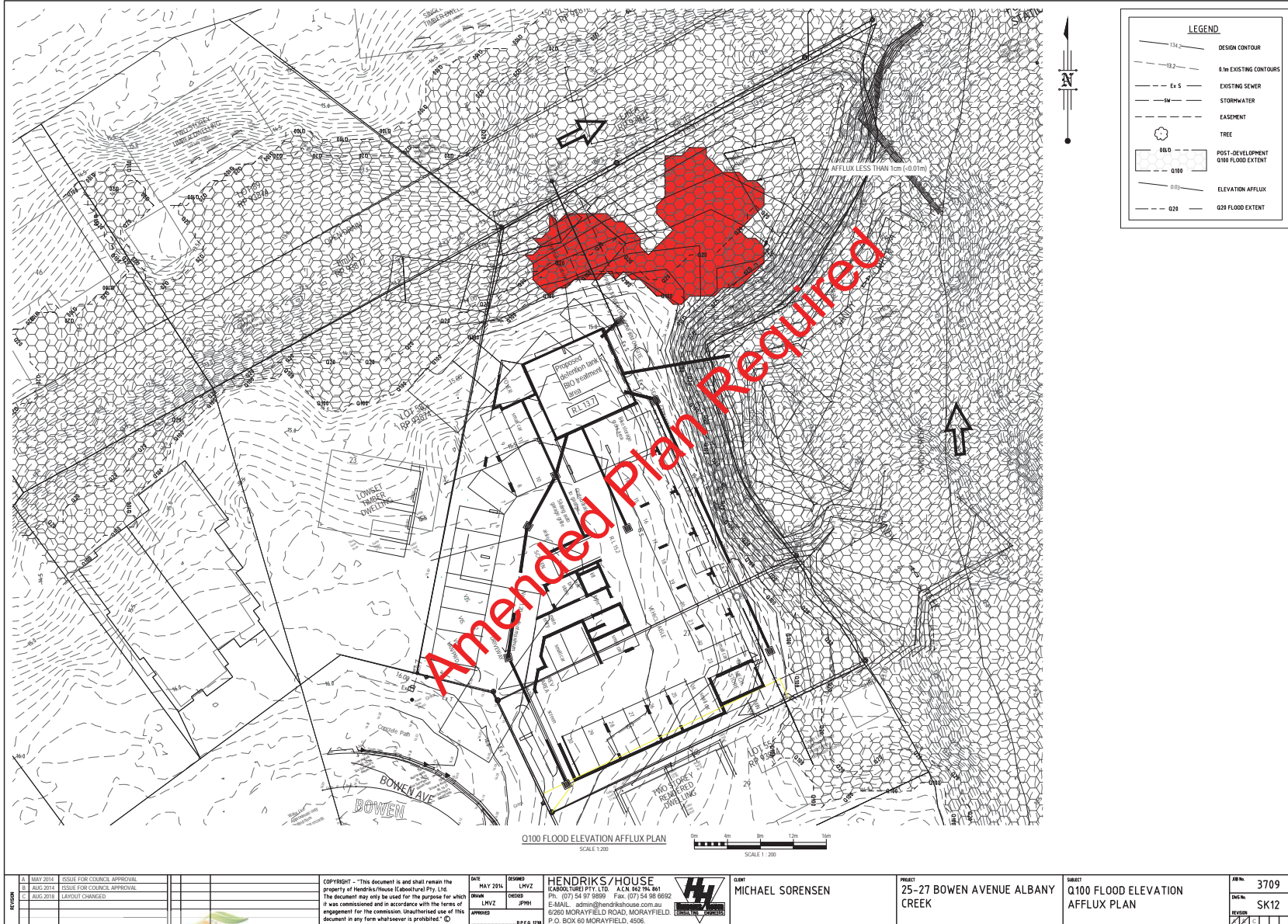
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

to be advised

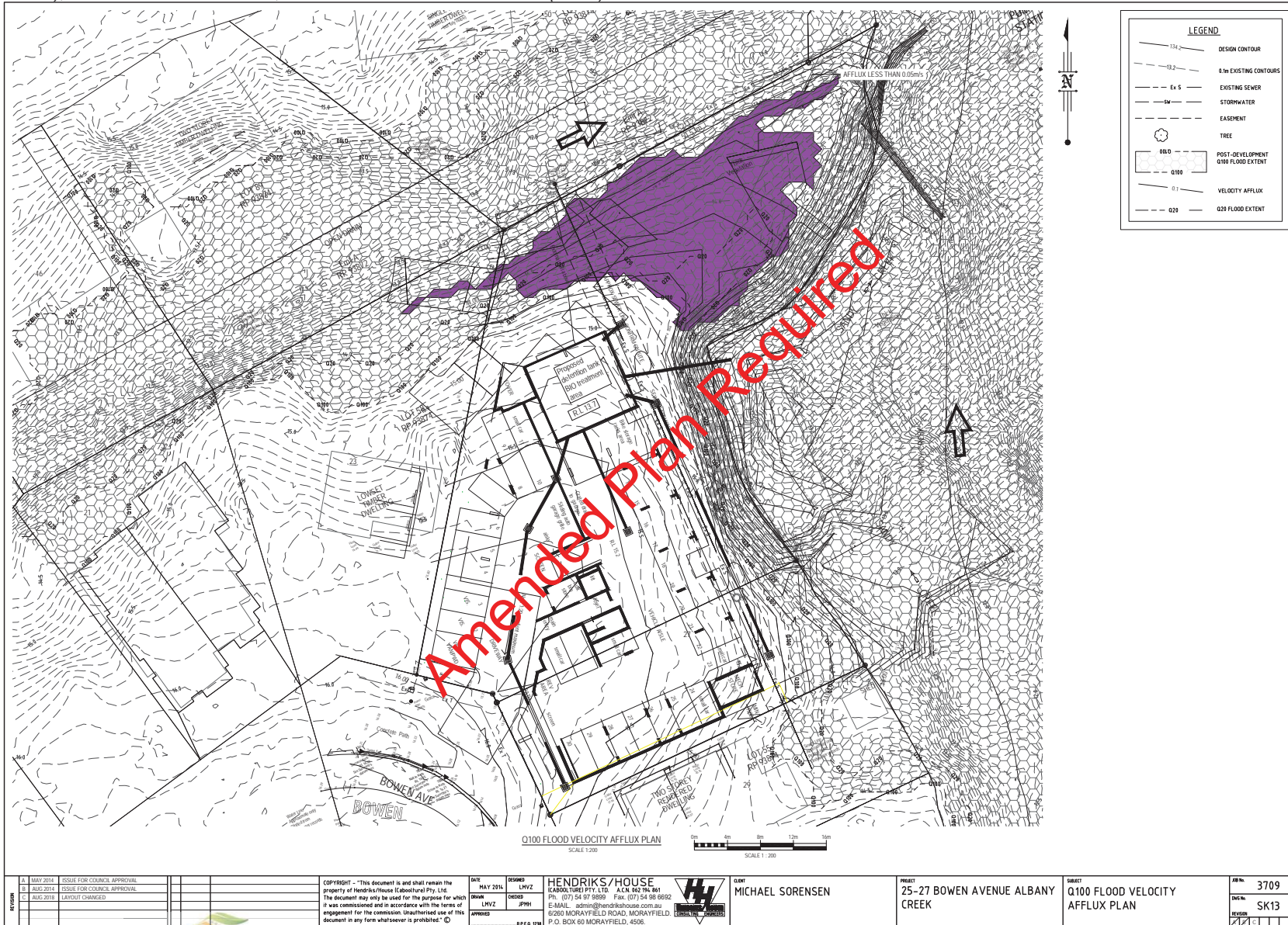
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

to be advised

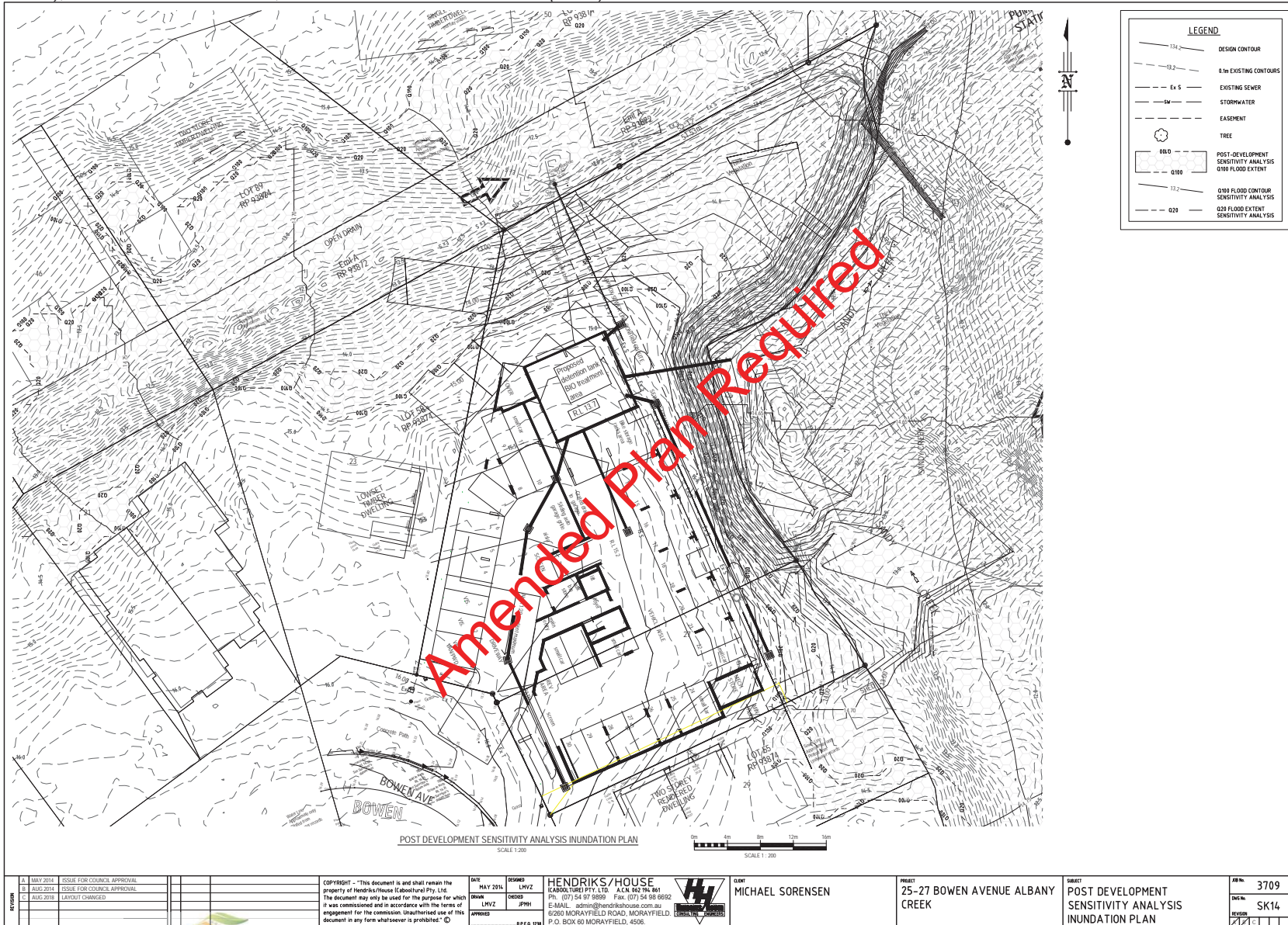
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Amended Plan Required

LEGEND	
	DESIGN CONTOUR
	0.1m EXISTING CONTOURS
	EXISTING SEWER
	STORMWATER
	EASEMENT
	TREE
	POST-DEVELOPMENT SENSITIVITY ANALYSIS 0.1m FLOOD EXTENT
	1m FLOOD CONTOUR SENSITIVITY ANALYSIS
	10m FLOOD CONTOUR SENSITIVITY ANALYSIS
	100m FLOOD CONTOUR SENSITIVITY ANALYSIS

REVISION	DATE	DESCRIPTION
A	MAY 2014	ISSUE FOR COUNCIL APPROVAL
B	MAY 2014	ISSUE FOR COUNCIL APPROVAL
C	MAY 2018	LAYOUT CHANGED

COPYRIGHT - "This document is and shall remain the property of Hendriks/House (Agriculture) Pty. Ltd. The document may only be used for the purpose for which it was commissioned and in accordance with the terms of engagement for the commission. Unauthorised use of this document in any form whatsoever is prohibited."

HENDRIKS/HOUSE
 (AGRICULTURE) PTY. LTD.
 P.O. BOX 60 MORAYFIELD, 4506
 PH: 071 54 07 8899 FAX: 071 54 98 8892
 E-MAIL: admin@hendriks.house.com.au
 6/250 MORAYFIELD ROAD, MORAYFIELD
 P.O. BOX 60 MORAYFIELD, 4506

CLIENT: MICHAEL SORENSEN

PROJECT: 25-27 BOWEN AVENUE ALBANY CREEK

SUBJECT: POST DEVELOPMENT SENSITIVITY ANALYSIS INUNDATION PLAN

JOB No: 3709
 DRAWING No: SK14

Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)
3709 - STORMWATER QUANTITY MANAGEMENT REPORT

Appendix B.

Rational Method calculations spreadsheet

Amended Plan Required

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 176
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

3709 - STORMWATER QUANTITY MANAGEMENT REPORT

RATIONAL METHOD FLOW CALCULATIONS		TOTAL CATCHMENT TIME OF CONCENTRATION							2100 DISCHARGE										
		OVERLAND	CHANNEL (open)	PIPE	tc	f	A	ari	I	C	Q1								
LOCATION OF CRITICAL SECTION	SUB-AREAS CONTRIBUTING	DESCRIPTION	LENGTH m	SLOPE (%)	ROUGHNESS n	TIME min	LENGTH m	SLOPE (%)	Average expected velocity (m/s)	TIME min	FRACTION IMPERVIOUS	C10 value	TOTAL CATCHMENT AREA ha	RECURRENCE INTERVAL yrs	RAINFALL INTENSITY mm/hr	Fy ARI Freq fact	COEFFICIENT OF RUNOFF	2100 DISCHARGE m ³ /s	
PRE		Sid Inlet Time (Top U Res. Slope 3% < S < 6%)	21	4.00		13				13									
PRE		Surface Flow	27	0.20		0.5				0.5									
PRE		Surface Flow	5.8	4.50		0.03				0.03									
Total Pre Development Time of Concentration						13.53				13.53									
PRE	SUB1	External Catchment - Road Reserve				0.016				0.016	0.150	0.210	0.0200	100	216.72	1.20	0.852	0.011	
PRE	SUB2	External Catchment - Low Rise				0.002				0.002	0.450	0.270	0.0500	100	216.72	1.20	0.924	0.002	
PRE	SUB3	Open Space - Site West of Sewer Basin				0.123				0.123	0.000	0.950	0.1590	100	216.72	1.20	0.792	0.075	
TOTAL Pre Development Discharge						0.123				0.123	0.1490							0.088	
POST		Sid Inlet Time (road surface)	21	4.00		5				5									
POST		Pipe Flow (assume 300mm dia)				97	0.81	0.40		0.6									
Total Post Development Time of Concentration						5.6				5.6									
POST	A1	Imperious NW				0.02				0.02	1.000	0.900	0.0800	100	301.93	1.20	1.000	0.007	
POST	A2	50% Units 1-5 Roof Fall to NE				0.061				0.061	1.000	0.900	0.0650	100	301.93	1.20	1.000	0.057	
POST	A3	50% Units 1-5 Roof Fall to SW				0.052				0.052	1.000	0.900	0.0550	100	301.93	1.20	1.000	0.049	
POST	A4	Driveway and Car Park				0.032				0.032	1.200	0.900	0.0360	100	301.93	1.20	1.000	0.030	
POST	A5	External Catchment - Road Reserve				0.007				0.007	0.150	0.210	0.0100					0.030	
POST	A6	External Catchment - Low Rise				0.002				0.002	0.450	0.270	0.0030					0.075	
TOTAL Post Development Discharge						0.1624				0.1624	0.1430							0.243	
Attenuation Required from Site = Total Post Discharge - Total Pre Discharge Root Runoff (Units 1 to 5 to NE (N10N E38S)) Root Runoff (Units 1 to 5 to NE (N10N E38S)) Allowable Discharge from Detention Tank = Pre Dev - Units 1 to 5 Gutter Overflow to NE Attenuation Required from Detention Tank = Post - Pre + Gutter Overflow to NE																			

Moreton Bay Not Approved DA/34470/2017/V2M to be advised

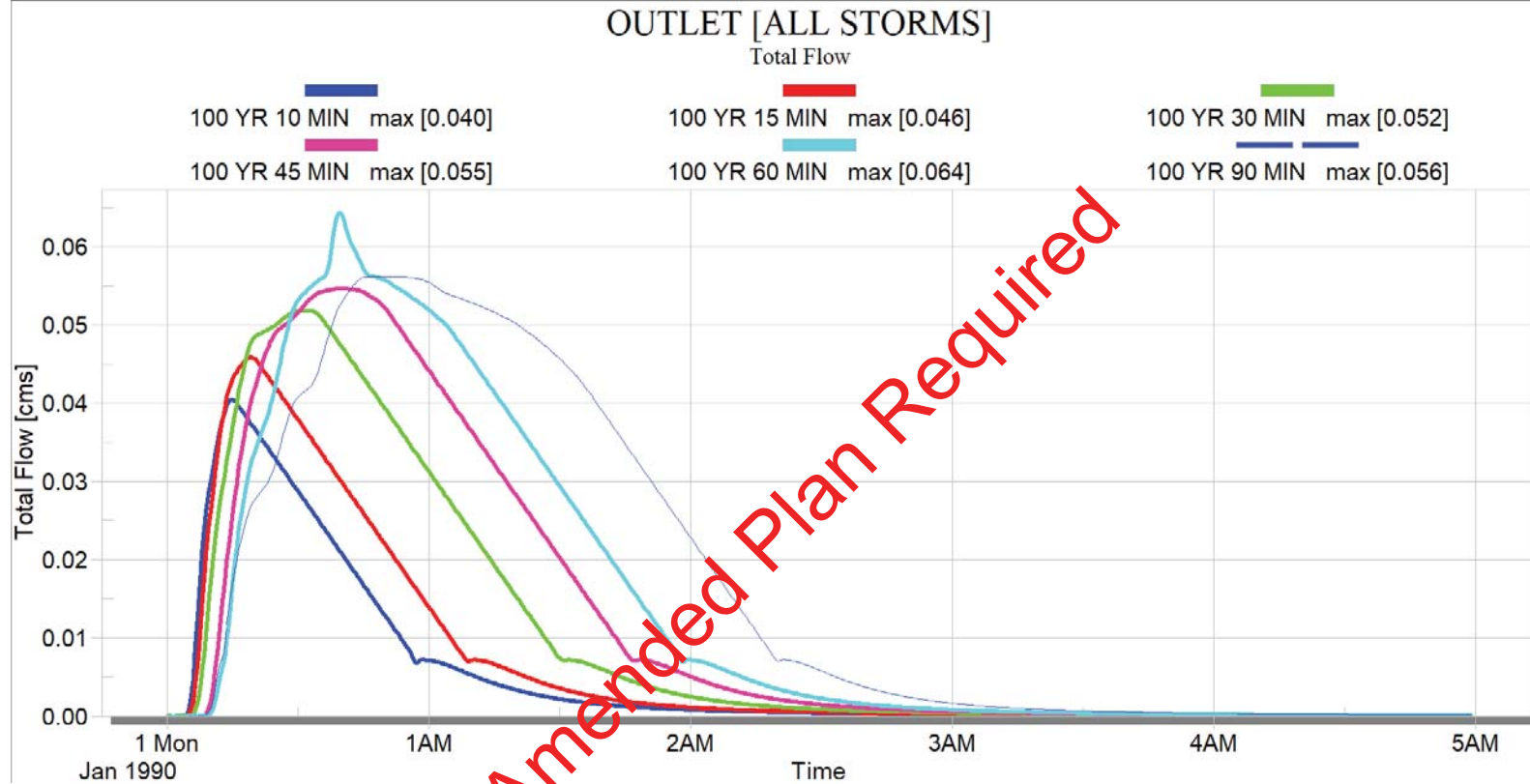
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)
3709 - STORMWATER QUANTITY MANAGEMENT REPORT

Appendix C.

- XPRAFTS Hydrographs

Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



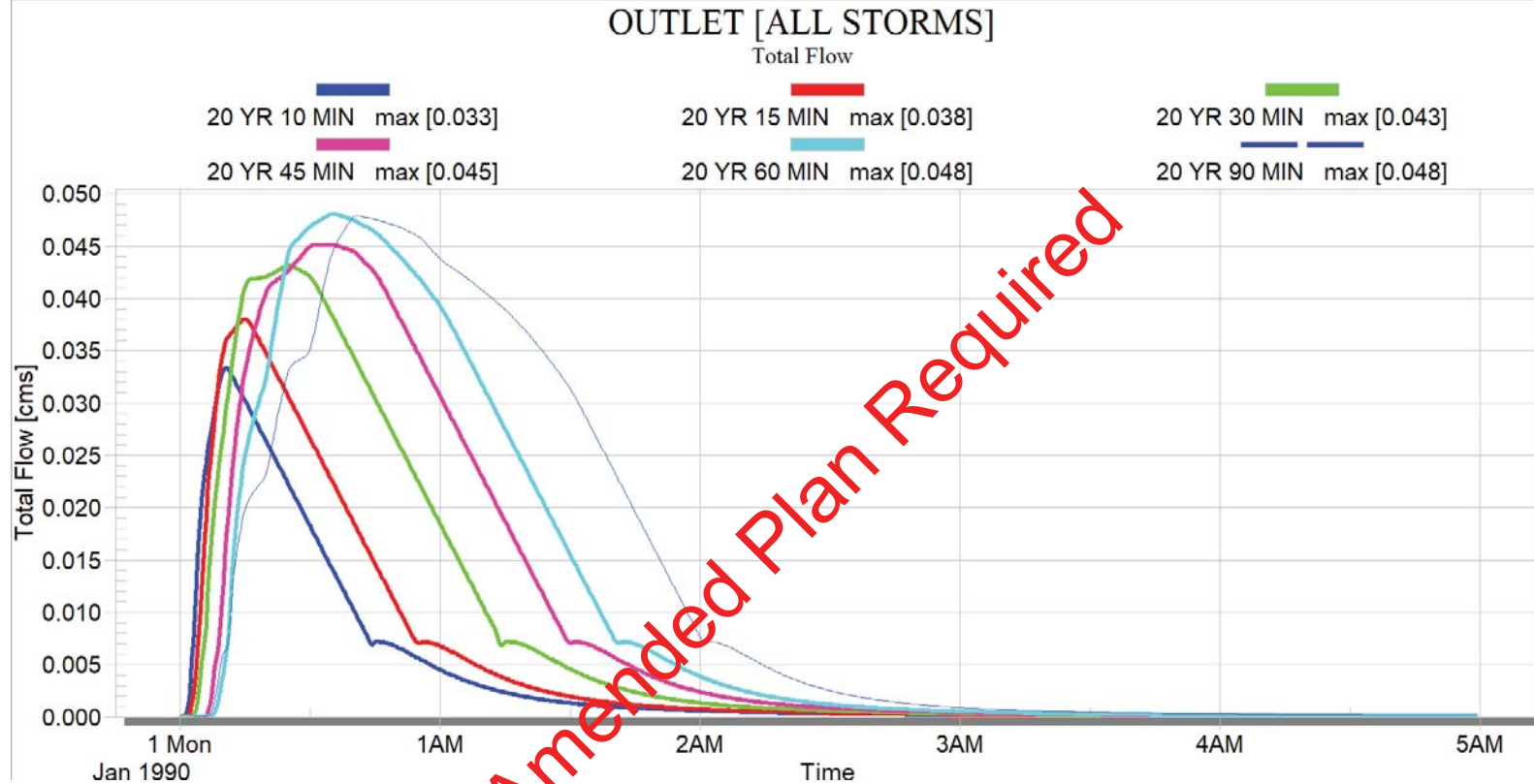
Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Amended Plan Required

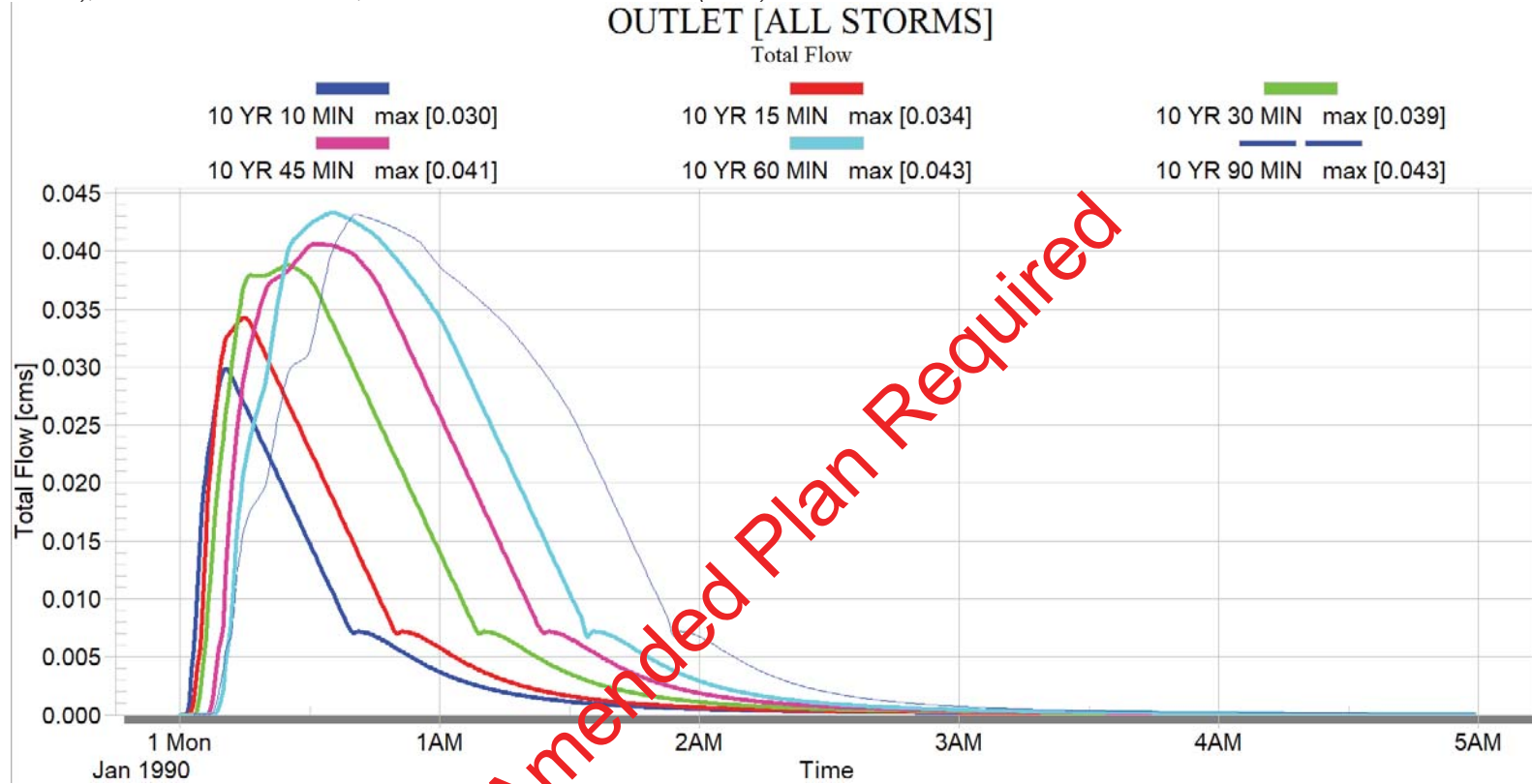
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

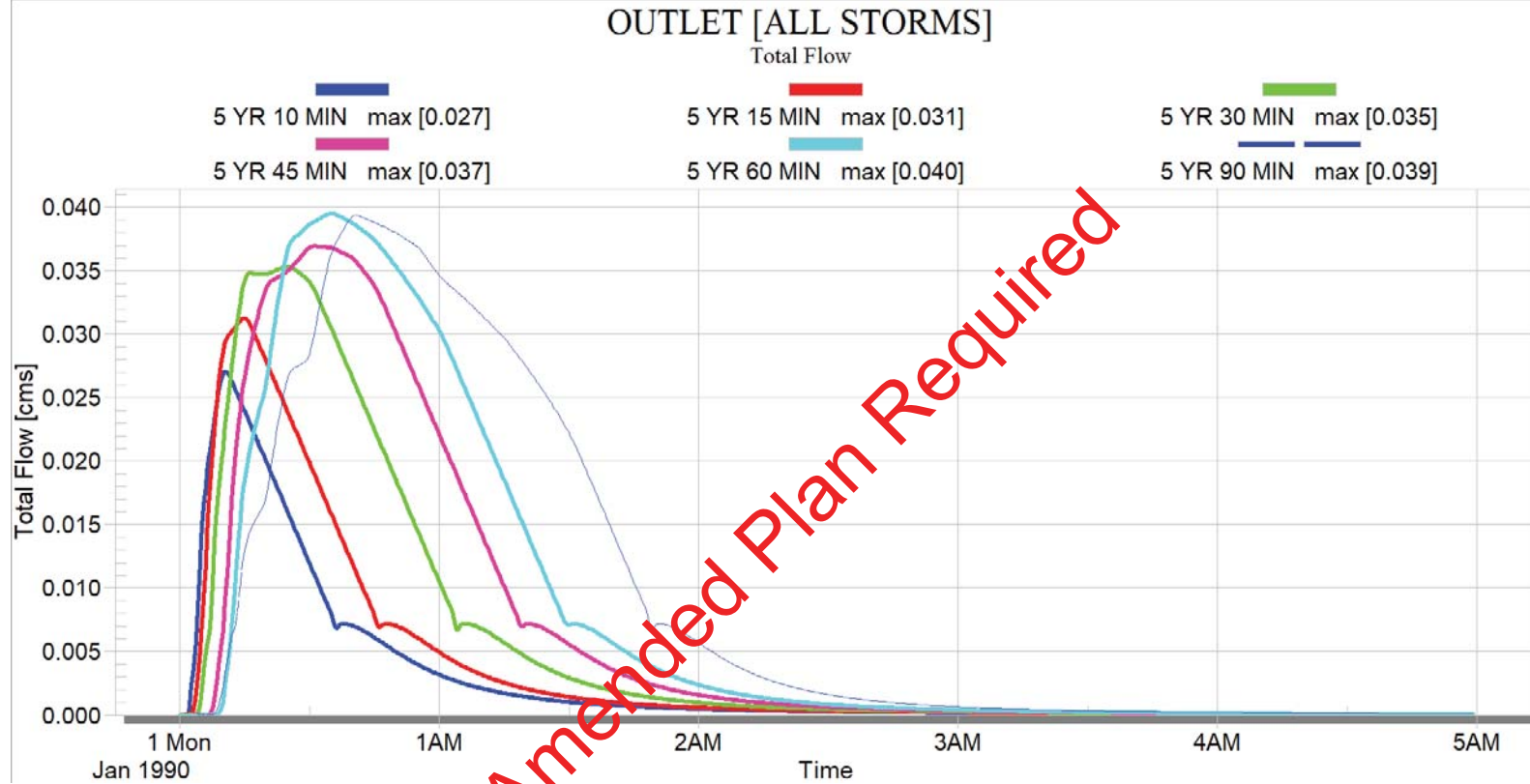
to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



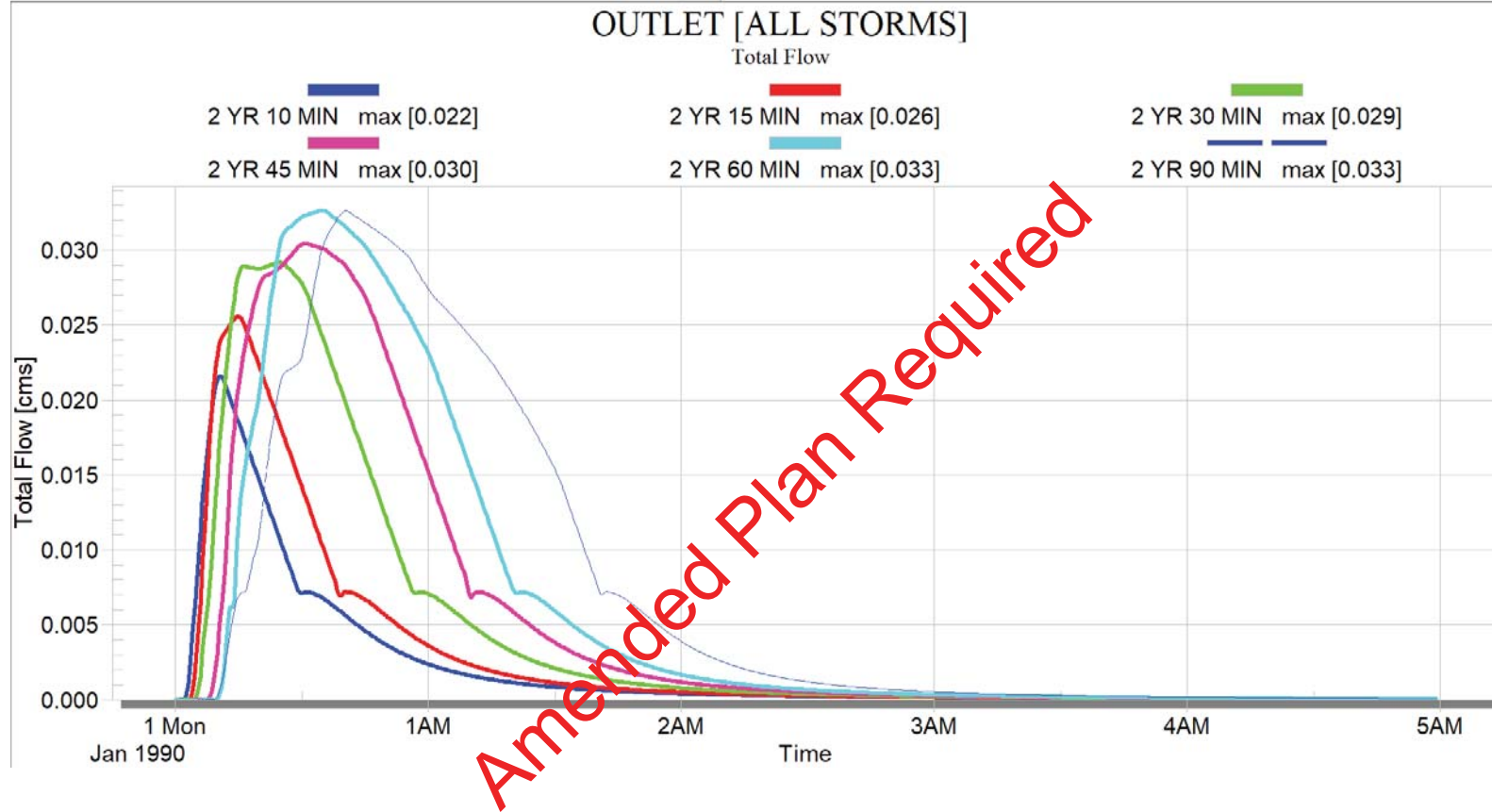
Amended Plan Required

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Amended Plan Required

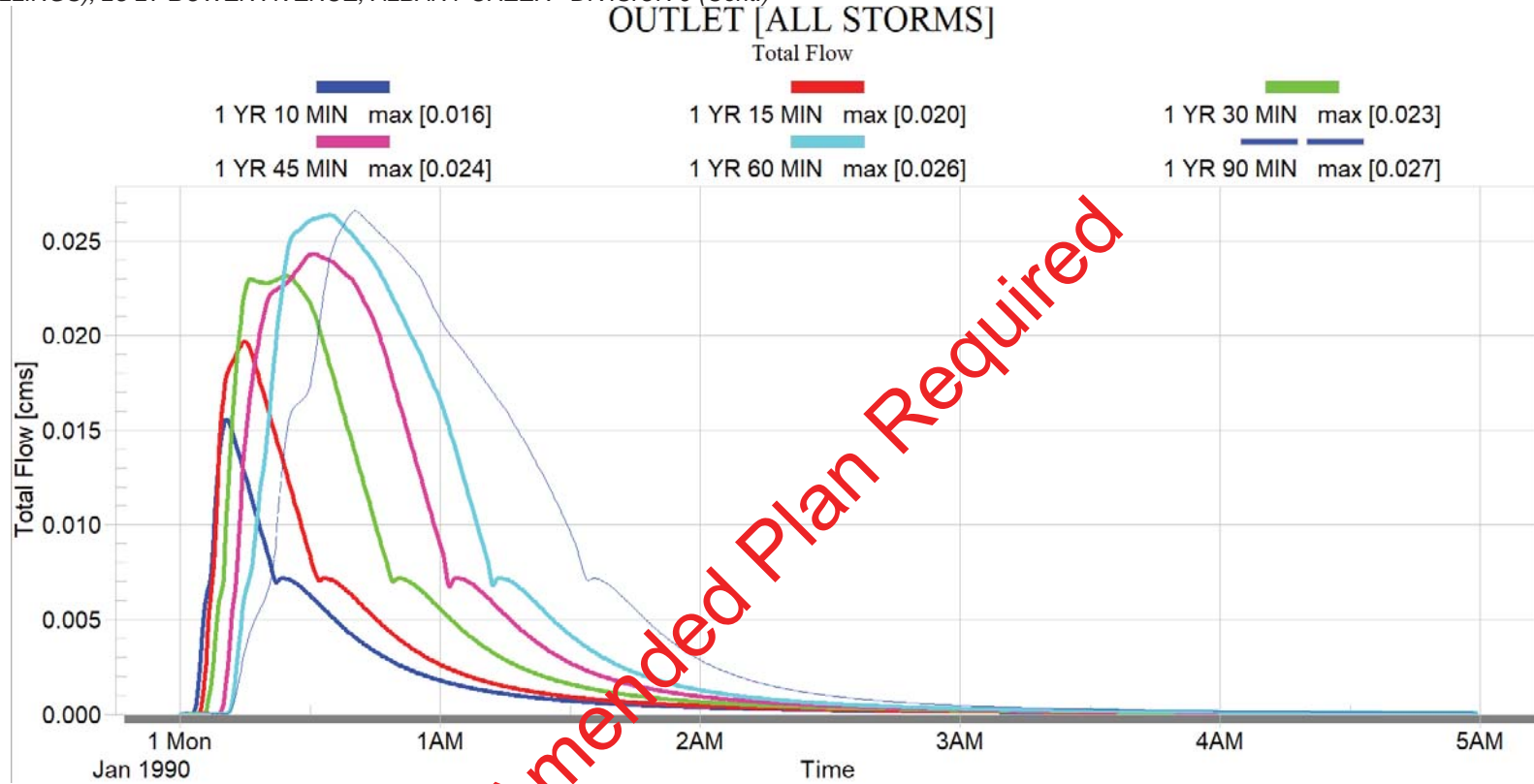
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



Not Approved DA/34470/2017/V2M

to be advised

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

#6 TMR Third Party Response



Department of
Transport and Main Roads

Our ref TMR18-025504
Your ref DA/34470/2017/V2M
Enquiries Susan Brown

27 September 2018

Moreton Bay Regional Council
PO Box 159
Caboolture QLD 4510

Attention: Nicole Tobias

Advice about a Development Application

Proposed Development: Material Change of Use – Development Permit for Multiple Dwelling (21 Dwellings)
Real Property Description: Lot 56RP93874, 57SP155119
Street Address: 25 & 27 Bowen Avenue, Albany Creek
Assessment Manager ref.: DA/34470/2017/V2M
Local Government Area: Moreton Bay Regional Council

Reference is made to your request for advice from the Department of Transport and Main Roads (the department) in relation to the abovementioned development application.

The department has assessed the proposal plans and Traffic Impact Assessment (dated 23 August 2018) and offers the following advice with respect to the application:

- The submitted Traffic Impact Assessment, includes only the AM peak in their distribution diagrams and critical movement assessment, when the largest volume turning right from the state-controlled Road: South Pine Rd (Albany Creek Rd), would be the PM peak. This aside, the local road (Bowen Ave) has two connections to the state-controlled Road. The one to the east is left in/left out only, with the one to the west being all movements' priority control.
- The all movement intersection to the west forms a four-way with a shopping centre. They have provided no analysis of the performance of this intersection, which TMR expects is quite busy. Sight distance appears to be sufficient at this location. The next step for this four-way intersection would probably be signalisation. However, given the nature of the development, TMR would consider it unreasonable to impose an upgrade of the existing supermarket intersection to a signalised intersection, on the proposed development.
- Although TMR considers that the report supplied does not include a detailed enough analysis, it is considered that requiring a new report to be submitted would be unnecessary as there are no upgrades at this location that TMR would impose on the development given the nature of the development and its scale.

Program Delivery and Operations
North Coast District / Maroochydore Office
12 First Avenue Maroochydore Queensland 4558
PO Box 1600 Maroochydore Queensland 4558

Telephone +61 7 (07) 5451 7058
Facsimile +61 7 (07) 3220 6071
Website www.tmr.qld.gov.au
ABN: 39 407 690 291

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 187
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Should you have any queries regarding the above, please do not hesitate to contact Susan Brown, Town Planner on (07) 5451 7055.

Yours sincerely



Chris Head
Principal Advisor

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 188
Agenda

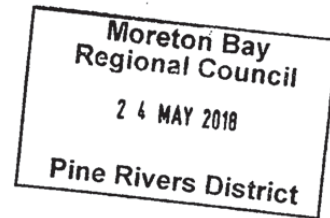
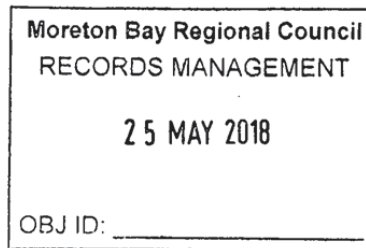
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

#7 Properly Made Submissions 15/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council


COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 191
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: 
Name: Tommy White
Address: 23 Browns Creek Rd Narangba
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 193
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan MEMBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 196
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature M. van Hoek

Name: MARIE-ANNE VAN HOEK

Address: 10 YORK COURT ALBANY CREEK QLD 4035

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#) 

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 201
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

JOAN, T. A. VAN HOUTS

Address:

10 York Court, ALBANY CREEK 4035 Qld

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?o=pendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 203
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 206
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature *J. Thomsen*

Name: J. THOMSEN

Address: 4 ESSEX DR ALBANY CREEK

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,515	44.7	820,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 208
Agenda

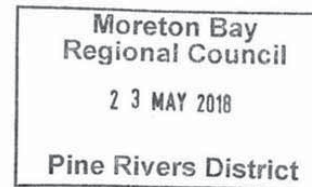
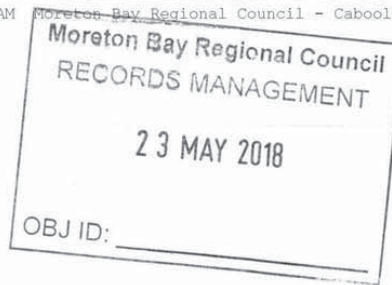
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBCRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBCRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature D. J. Rome

Name: DAVID THOMSON

Address: 4 ESSEX DRIVE ALBANY CREEK

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035 QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant’s desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 216
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature K. Thibault

Name: KAYE THIBAULT

Address: 18 TIBBITS CLOSE, ALBANY CREEK

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Dear Mr Charlton

As a resident of Albany Creek for the last 18 years, I wish to voice my concern in relation to a proposed development in Bowen Avenue, Albany Creek.

I deliberately built in Albany Creek because it had a "village appeal" and little traffic. I have spoken to many residents of this area who feel the same way. It had charm and character. Unfortunately this charm is being erased, slowly but surely. There were few buildings over two storeys in height when I moved to this suburb. Now it seems apartments are the way of the future and buildings of three or four storeys are creeping in without any thought as to how the suburb will lose its appeal and without any real discussion with the residents of the suburb. We are not near a railway line and have limited buses into the city. I understand the desire to build high rise apartments near to railway stations, major shopping centres such as Chermside, and bus hubs; but Albany Creek does not have those facilities and that is part of its charm. It is not an inner city suburb.

The development of four storey apartments in Bowen Avenue is not appropriate for the street. It is a "U" shaped quiet residential street with no traffic lights on to the main thoroughfare of Albany Creek Road. I believe there is a plan to building 24 apartments with 20 car park spaces provided. Considering that most young apartment dwellers have two vehicles per apartment (especially if there is no railway station or bus hub nearby) where will all the vehicles be parked that have no provision off road? How will all these vehicles gain access to Albany Creek Road without lights? This does not seem feasible to me, not to mention that no houses in the street are more than 2 storeys in height and a 4 storey apartment complex will stick out like a sore thumb. It is definitely not appropriate for such a short, quiet street.

I have real concerns with this development.

Regards
Kaye Thibault

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

1.

Date: 19 May 2018

The Assessment Manager

Moreton Bay Regional Council

PO Box 159

Caboolture Qld 4510

Dear Sir,

RE: Development Application for 25-27 Bowen Avenue, Albany Creek

Council Application Number 2017/34470/V2M - MCU Multiple Dwelling

I wish to make a formal submission regarding the above development application proposed for Bowen Avenue at Albany Creek. The proposed development is completely out of character for the current community and I believe it is inappropriate for the existing community. This small narrow avenue currently provides safe access for parents to park their cars in close proximity to the school when dropping off and picking up their children. Any added traffic flow and parked vehicles will cause safety and parking issues particularly around the school starting and finishing times.

I understand that the Development Application does not fully comply in relation to the following:

1.Site Density:

The proposed development will cause the site density to exceed 75 dwellings per hectare which is the maximum recommended for the precinct therefore resulting in overdevelopment of the site. The applicant's argument that there are grounds for relaxation of site density requirements does not appear to be correct.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

2. Building Height:

The proposed four storey building may exceed the maximum height of 12 metres although this is not able to be verified because the Development Application only uses estimated measurements.

A structure of this height and size (proposed to be four storeys) is inappropriate in a small residential avenue consisting of one and two level dwellings for the following reasons:

Loss of privacy for residents in the community in the adjoining dwellings.

The building looks out of place in this semi-rural residential setting.

The building will be inconsistent with the low to medium density residential character of the avenue.

I am told that this Development Application is inconsistent with the performance outcomes for assessable development in the Next Generation Neighborhood Precinct due to the proposed building height and the site density of greater than 75 dwellings per hectare.

3. Environmental Impacts:

The proposed development is bordered by Sandy Creek which supports many native plant species, birdlife, koalas and platypus as well as other native marine life such as tortoises. The proposed construction will cause great impact on all of these native species both during construction and loss of habitat following construction.

4. Traffic Impacts of the Proposed Development:

The traffic impact of this proposed development in a narrow avenue with two bends is a very serious impact. The number of car spaces provided appears inadequate. It is obvious in high density developments in suburbs such as Chermside and Taringa that 1 carspace per unit is completely inadequate even though these areas have access to far better public transport than Albany Creek. These suburbs have enormous parking and traffic problems with cars parked up and down both sides of the narrow streets allowing the passage of only one vehicle width at a time.

This avenue provides safe parking for mums to drop off their kids and walk them

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

across the crossing to the school and also pick them up. This will not be as easy or as safe if this development goes ahead.

I understand that the applicant has not provided a traffic impact assessment.

5. Conclusion:

While the Proposed Development does not comply with some aspects of the Moreton Bay Regional Council Planning Scheme 2015 it is important to consider that the proposed development is inappropriate for this residential community.

I have owned my property in Bowen Avenue and paid rates for about 46 years. There are a lot of other long term as well as more recent residents and we bought our properties in this location because Albany Creek offered a natural semi-rural environment and up until now development has been low rise in keeping with the environment that attracted us all to live here.

Yours Faithfully

Signature.....

Ron Swanborough

Please hide my details on POnline. Yes

Address:

35 Bowen Avenue,

Albany Creek

Qld (4035)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 222
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District



Date: 19 May 2018

The Assessment Manager
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development Application for 25-27 Bowen Avenue, Albany Creek
Council Application Number 2017/34470/V2M - MCU Multiple Dwelling**

I wish to make a formal submission regarding the above development application proposed for Bowen Avenue at Albany Creek. The proposed development is completely out of character for the current residential setting and I believe it is inappropriate for the existing community. This small narrow avenue currently provides safe access for parents to park their cars in close proximity to the school when dropping off and picking up their children. Any added traffic flow and parked vehicles will cause safety and parking issues particularly around the school starting and finishing times.

I understand that the Development Application does not fully comply in relation to the following:

1. Site Density:

The proposed development will cause the site density to exceed 75 dwellings per hectare which is the maximum recommended for the precinct therefore resulting in overdevelopment of the site. The applicant's argument that there are grounds for relaxation of site density requirements

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

does not appear to be correct.

2. Building Height:

The proposed four storey building may exceed the maximum height of 12 metres although this is not able to be verified because the Development Application only uses estimated measurements.

A structure of this height and size (proposed to be four storeys) is inappropriate in a small residential avenue consisting of one and two level dwellings for the following reasons:

Loss of privacy for residents in the community in the adjoining dwellings.

The building looks out of place in this semi-rural residential setting.

The building will be inconsistent with the low to medium density residential character of the avenue.

I am told that this Development Application is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct due to the proposed building height and the site density of greater than 75 dwellings per hectare.

3. Environmental Impacts:

The proposed development is bordered by Sandy Creek which supports many native plant species, birdlife, koalas and platypus as well as other native marine life such as tortoises. The proposed construction will cause great impact on all of these native species both during construction and loss of habitat following construction.

4. Traffic Impacts of the Proposed Development:

The traffic impact of this proposed development in a narrow avenue with two bends is a very serious impact. The number of car spaces provided appears inadequate. It is obvious in high density developments in suburbs such as Chermside and Taringa that 1 carspace per unit is completely inadequate even though these areas have access to far better public transport than Albany Creek. These suburbs have enormous parking and traffic problems with cars parked up and down both sides of the narrow

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

streets allowing the passage of only one vehicle width at a time.

This avenue provides safe parking for mums to drop off their kids and walk them across the crossing to the school and also pick them up. This will not be as easy or as safe if this development goes ahead.

I understand that the applicant has not provided a traffic impact assessment.

5. Conclusion:

While the Proposed Development does not comply with some aspects of the Moreton Bay Regional Council Planning Scheme 2015 it is important to consider that the proposed development is inappropriate for this residential community.

I have owned my property in Bowen Avenue and paid rates for about 46 years. There are a lot of other long term as well as more recent residents and we bought our properties in this location because Albany Creek offered a natural semi-rural environment and up until now development has been low rise in keeping with the environment that attracted us all to live here.

Yours Faithfully

Signature: 

Julie Swanborough

Please hide my details on PDonline. Yes

Address:

35 Bowen Avenue,

Albany Creek

Qld (4035)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

dwelling structure | household composition | mortgage & rent | **number of motor vehicles** | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035 QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address. 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 226
Agenda

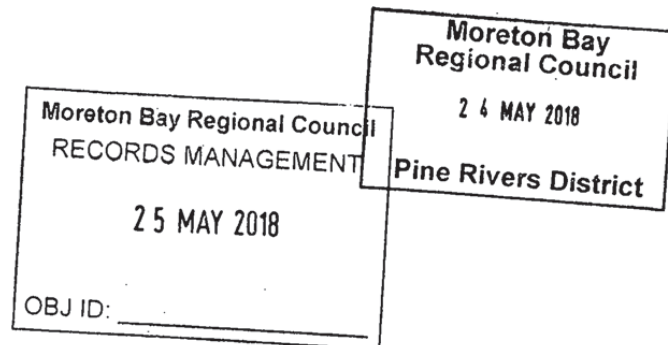
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council


COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 229
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: 
Name: FRANK STUART
Address: 81 APPLBY RD STAFFORD
Please hide my details on PDonline. Yes No. 4053

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 231
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -.the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

MARK WILLIAM STEWART

Address:

9 JUNAK COURT HERITAGE PARK QLD

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | **[number of motor vehicles](#)** | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035 QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Sun 13/05/2018 9:39 AM

For the attention of the General Manager / Planning Manager / Planning Department

Application 2017/34294/V2M
Address 25 Bowen Avenue, Albany Creek QLD 4035
Description Material Change of Use - Development Permit for Multiple Dwelling (24 Dwellings)
Name of commenter Smith
Address of commenter 7 Brian Morrison Drive
Email of commenter brendajgrahamf@outlook.com

Comment

So yet more trees will be lost, there is no hope for the bird life, koalas and other animals that need trees to survive.

Better public transport is required now yet alone with more development

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 237
Agenda

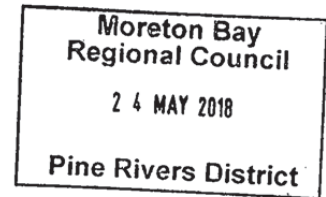
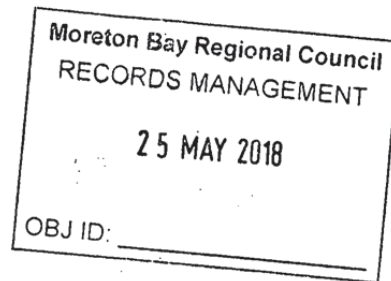
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council


COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 240
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature .....
Name: C.H. SERCHEN.....
Address: 12 COORABIN STREET STRATHPINE 4500
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 242
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date 18th May 2018

The Chief Executive Officer
Moreton Bay Regional Council
P.O Box 159
Caboolture Qld 4510



Dear Sir

Re. Development application for 25-27 Bowen Avenue Albany Creek.
Council Application No 2017/34470/V2M – MCU Multiple Dwelling

We as homeowners in Bowen Avenue, Albany Creek wish to make a formal Submission on the development application in order to register our strong Opposition to the proposed development. The grounds for this objection Are as follows.

1. **Height.**

The height of 4 storey of the proposed exceeds the maximum height of 12 Metres. I believe that the height according to the plans is closer to 12.9 Metres. Measurements given by the developer are approximate and not true plans for the final development. Also the request by the council for electronic model has not been complied with by the developer

Density

We note that the council has a site density for such buildings. This developer argues that these regulations should be relaxed. If we as residence tried to put a building on our land you would advise us of you requirement and not allow us to bend/or stretch the rules as this developer wants too

2. **Parking/Traffic**

On the plans submitted each unit has space for one car only with six additional Parking spaces for visitors. In the modern era most families have two cars. Having said that where do these extra cars park. In the visitors parking area and outside in Bowen Avenue. The entrance to this site is located on a horse shoe bend of Bowen Avenue and vehicles cannot be parked in or near this location for safety reasons. Bowen Avenue is not a wide street and if council allowed parking on both sides of the street lower speed limits must be applied to vehicles using this roadway. Also it is to be noted that we currently have truck and dogs and buses using Bowen Avenue allowing them to do U Turn on Albany Creek Road. **It should also be noted by the Council that vehicles repaired and or fitted with tyres by Beaurepaire are test driven around Bowen Avenue.** Might I also point out that the Developer has not yet supplied the Council with a traffic Impact Statement on the extra traffic in Bowen Avenue. This will also cause significant traffic problems at both entrances and exits to and from Bowen Avenue. Without this information it is impossible for any

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

person objecting to or the Council to determine the traffic impacts of the proposed development.

3. Environmental Impact

To date the Developer has not supplied to Council with an impact statement regarding the proposed development and with the final day for submissions fast approaching we are unable to put in any objections to this statement if it is forwarded to Council.

4. Sewerage.

We note in one of the replies to the council from the developer that the current owners the the two properties concerned have not experienced any odours coming from the sewerage which is locate 200 meters from the development. To my knowledge the current owners have never lived in these premises because they are both currently rented and have been for some years. The residents living in close proximity of this development if the wind is blowing in the right direction often complain amongst themselves and reported the matter to the council. Many times we have observed the light on top of the sewerage plant flashing especially when there is extremely heavy rain.

With all the new units in Greensill Road already under construction and being connected to the sewerage system strong consideration must be given by the council to the connection of another 24 units. Also consideration must be given to the current system and if it can handle the extra flow without causing any back up or overflow to current residents. I would suggest the council has to consider where any overflow may go to. **Perhaps I might suggest Sandy Creek.**

5. Valuation of Surrounding Properties

If this development in Bowen Avenue is approved it will because of its size and appearance affect the valuation of the surrounding homes. From past experience in Melbourne and having lived in Albany Creek for 25 years these types of development will only bring trouble from people renting such units. As mentioned at our meeting with Mike Charlton yesterday the residence in Leitch's Road constantly have the Police attending the new units at the end of this road for various reasons.

6. Conclusion

The proposed Development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, I would submit that this application by the developer be refused

Appendix A attached

Yours Faithfully

Signature.....*DG Pennie*.....

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 244
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Name *DON RENNIE*

Please hide my details on PD on line

Yes

Address. *19 BRENDALE ST
BRENDALE*

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 245
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 248
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature *a. Papp*

Name: Alan Papp

Address: 2 York Court Albany Creek 4035

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street.

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 253
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: Maureen Prickett
Name: MAUREEN PRICKETT
Address: 65 FAHEYS RD WEST ALBANY CREEK

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 255
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 258
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: *A. Tuckett*
Name: ALLAN TUCKETT
Address: 15 FIDDLERS RD WEST ALBANY CREEK
Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?o=pendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 260
Agenda

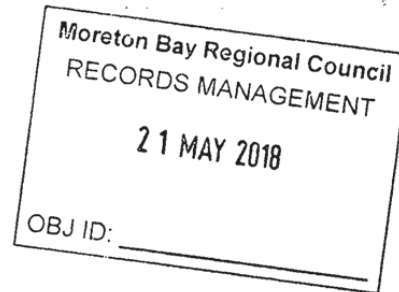
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 263
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

Les Preston

Address:

19 Boulton Ave. Kallangur 4503 QLD

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [Internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 265
Agenda

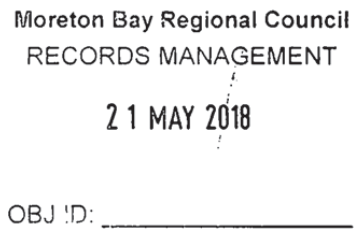
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 268
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature CPreston

Name: CHRIS PRESTON

Address: 19 BALTHOLPE CRT KALLANGUR 4503

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 273
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

LINDSAY POWELL

Address:

18 TIBBITS CLOSE ALBANY CREEK

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 275
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Mike,

I have not written to you before but I feel in this case it is necessary for me to register an objection.

I am writing to you today to register my objection to the submission of building plans now in council for Bowen Avenue.

I have lived in the Albany Creek area for the past 12 years.

I find the ambience of Albany Creek to be more like a village than a inner city neighbourhood and believe the building application in Bowen Ave to be the start of the degradation of Albany Creek and eventually the area will end up like the inner city.

I believe there is an opportunity to keep the village feel, this would only be able if not allowing high rise apartment living to be allowed.

Needless to say the effect on traffic in the area would incur some delays in travel. The people in Bowen Ave. would have to be very tolerant of traffic congestion in exiting their street.

This is an inappropriate building submission.

Regards

Lindsay Powell

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 276
Agenda

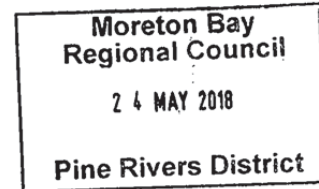
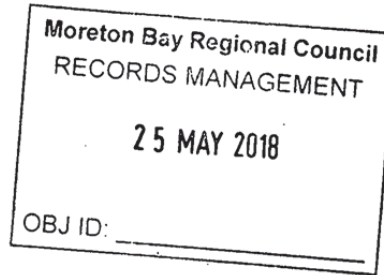
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway/natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

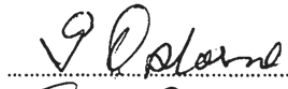
COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 279
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: 
Name: IAN OSBORNE
Address: 910/150 PARKSIDE CIRCUIT HAMILTON 4007

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 281
Agenda

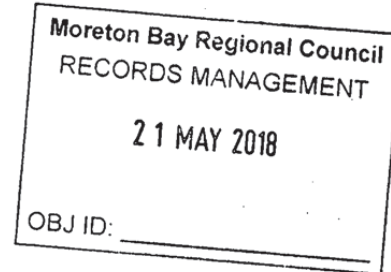
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 284
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: W.P. Naumann
Name: WAYNE PHILLIP NAUMANN
Address: 29 BOWEN AVE ALBANY CREEK

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 286
Agenda

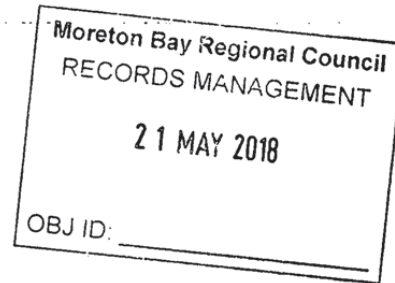
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -.the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 289
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature *L.M. Morris*
Name: Lesley Morris
Address: 5 McKenzie St, Dayboro
Please hide my details on PDonline. No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobble Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 291
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Fri 11/05/2018 3:56 PM

Hi my name is Jesse Mitchell, me and my wife and 2 little girls own and live at 18 Bowen ave Albany creek and have so for the past 4 years . It has come to my attention of a proposed project of 24 unit blocks directly across from my house . I would like to say that I am disgusted in this proposal and know that it would not only destroy this quite and lovely street but be a massive impact on the environment as the clearing or the creek bed and the 30+ year old trees in the blocks . Would also like too note that the street itself is not big enough to cater too that kind of traffic . Me and my family know every single family in this old street and we would like to keep it that way. We have a right as home owners and members of this beautiful community too have a say and too speak up on this ridiculous proposal. I would like too note that if there are any meetings for this project before approval I would like too know of it as me and majority of this street / community will attend . Thank you

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 292
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

5

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

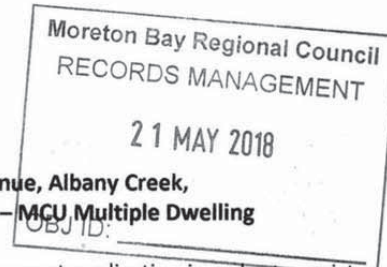
The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:



Debra McNair
26 Bowen Ave
Albany Creek Q. 4035.
20.5.2018.



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

dwelling structure | household composition | mortgage & rent | **number of motor vehicles** | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#) 

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 297
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street.

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature 

Name: Dore McNeil

Address: 25 Bowen Avenue Albany Creek QLD 4031

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 302
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

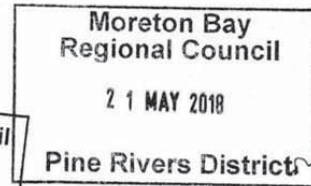
Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

5

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

A handwritten signature in black ink, appearing to read 'P... ..'.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -.the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

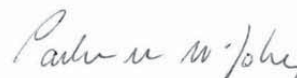
Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 305
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature Pamela Unice McGahay

Name: Pamela Unice McGahay

Address: 7 Kunder Rd Mount Samson Q 4520

Please hide my details on POnline. Yes No.

Page 4 of 5

Pamela Unice McGahay

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Paul W. Mitchell

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 307
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street. -

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

Eliza M. Sam

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

12/11/18 M. G. G.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Elliot M507

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 310
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature Elliott McGahey

Name: Elliott McGahey

Address: 7 Kundes Rd Mount Samson 4520

Please hide my details on PDonline. Yes No.

Elliott McGahey

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Elliot Mason

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 312
Agenda

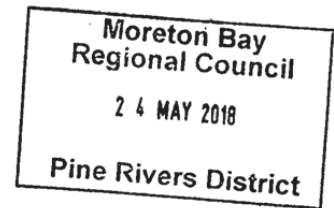
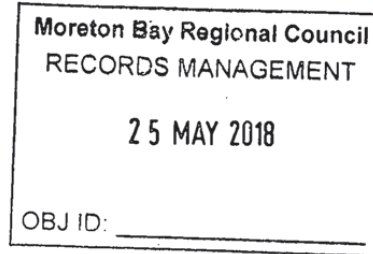
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway/natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council


COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 315
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: 
Name: JOHN S. MCCORMACK
Address: 26 BRIDGE STREET

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 317
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBCRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 15th May 2018

Assessment Manager
The ~~Chief Executive Officer~~
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 319
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature J.A. Mangau 23 May 2018

Name: JANET MANGAU

Please hide my details on PDonline. Yes ~~No~~

Address 57 BEULIN COURT
Albany Creek 4035

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.


5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Yours Faithfully

Signature 

Name: Jake Nicholas Lulan

Address: Unit 2 / 21 Bowen Avenue Albany Creek 4035

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,801,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,164	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobble Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#) 

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 328
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Yours Faithfully

Signature Elissa Luhn

Name: Elissa Luhn

Address: 2/21 Bowen Ave, Albany Creek

Please hide my details on POnline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,302	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 330
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

5

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Moreton Bay Regional Council
RECORDS MANAGEMENT
22 MAY 2018
OBJ ID: _____

MORETON BAY
REGIONAL COUNCIL

22 MAY 2018

CABOOLTURE DISTRICT

Attn: Nicole Tobias

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynO'Callaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion


The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature 

Name: PETER LAWRENCE

Address: 31 BOWEN AV ALBANY CREEK

Please hide my details on PDonline. Yes

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynO'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 335
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 15th May 2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



MORETON BAY
REGIONAL COUNCIL
22 MAY 2018
CABOOLTURE DISTRICT

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 337
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature J. M. Lawrence

Name: JUDITH LAWRENCE

Please hide my details on PDonline. Yes No

Address 31 BOWEN AVE
ALBANY CREEK 4035.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 338
Agenda

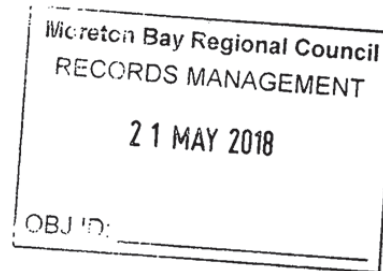
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council


COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 341
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature 
Name: ROBERT LAUSEV
Address: 1/107 NORTALINK PL, VIRGINIA QLD
Please hide my details on PDonline. Yes No. 4014

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobble Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 343
Agenda

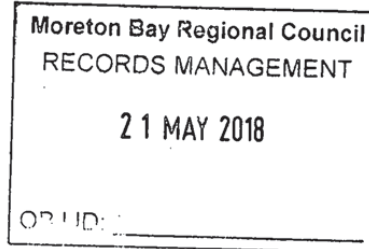
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -.the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	% ¹
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#) 

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 348
Agenda

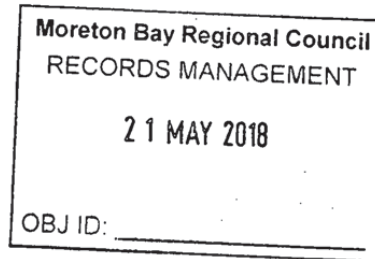
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

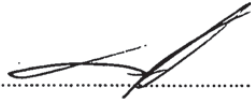
PAGE 351
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

LAUNCH CARGO + LOGISTICS

Address:

1/107 NORTHLINK PL, VIRGINIA QLD

Please hide my details on PDonline. Yes No

4014

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Daniel Lane
41 Bowen Av
ALBANY CREEK
QLD 4035
P: 0429 989 946
E: 007daniel.lane@gmail.com
Date: 23/05/2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,
RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- results in privacy and residential amenity consistent with the low to medium density residential character intended for the area - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- orientate to integrate with the street and surrounding neighbourhood – the proposed development will be out of place in the street;
- be of a scale and density consistent with the low to medium density residential character intended for the area – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Yours Faithfully

Daniel Lane

(As per guidelines for digital submissions, this is not required to be signed)

Please hide my details on POnline. Yes No.

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018
http://www.moretonbay.qld.gov.au/native-animals/sightings/

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Daniel & Laura

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 357
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

12 Bowen Avenue

Albany Creek

12 May 2018

Moreton Bay Regional Council

Gympie Road

Strathpine

Dear Sir/ madam

I hereby lodge objection to the proposed development of land from Dwelling house to Multiple Dwelling on land at lot 25 and 27 in BOWEN AVENUE, ALBANY CREEK 4035 for the following reasons:

- 1. By the nature of the road design it has been called an Avenue ,entering and exiting to ALBANY CREEK ROAD by a distance of approx. 50 metres with no impediment to reduce speed because of the avenue design. ie change of direction of the road is by curve not by road junction and thus does not need change of speed. While this is manageable at this stage multiple dwellings lot in the avenue will create much heavier traffic flow.**
- 2. The width of Bowen Avenue allows for the width of three vehicles and with parking on both side of the road will create dangerous pedestrian and traffic flow. Vehicles already park in front of our properties from business traffic overflow and make it very difficult entering and exiting our property**
- 3. As an easement linking Ferguson Street to Bowen Avenue is a readily used access for children and parents going to and from Albany Creek State School, extra volume of traffic in Bowen Avenue will make it more dangerous to cross when vehicles are often parked on both sides of the road from overflow from commercial businesses which enter and exit in Bowen Avenue.**
- 4. As a resident of some 48 years my only entry and exit to my property is by front in and reverse out. Being on an allotment adjacent to an allotment on a curve at the change of direction of the avenue,this can become quite hazardous with many vehicles cutting the corner as no real need to change speed is necessary when traversing the road. Other residents will face the same problem.**
- 5. A multiple dwelling lot of 24 dwellings no matter of planning regulations will bring with it a minimum of 24 vehicles,more likely double that . Developers want useable lots not car parks, so where does the over flow go, on the already narrow road which will become a car park not**

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

in front of the development but in front of other residents property.(NOTE UNIT development in Albany Creek Road ASPLEY as an example)

- 6. Access from Bowen Avenue to Albany Creek Road even at this time is not an easy process with Give way signs and traffic emerging from the shopping centre ,businesses and 40 kph limits as well as school and other traffic making numerous U TURNS at this intersection which is also the entry and exit points to Bowen Avenue. The accidents, near misses and screeching of brakes are quite audible from my residence and the evidence of nose to tail as well as traffic sign damage is quite evident at this intersection. My own daughter has been involved in an accident at this intersection with traffic from the shopping centre trying to exit if and when there is a break in traffic.**
- 7. To allow a proposal for a multiple dwelling ,24 dwellings,in BOWEN AVENUE, will not only destroy the amenity of our avenue, but will cause the loss of a great deal of los of green space for its construction by encroaching on flood mitigation of the creek area and loss of animal and bird life habitat. The extra traffic it will create in an already narrow street with parking and speed (not necessarily over speed limits) together with traffic problems at the intersection of BOWEN AVENUE and ALBANY CREEK ROAD with which all residents will need great patience or be prepared to take risks in order to accessor exit ALBANY CREEK ROAD.**
- 8. May Council not approve this development application on the reason submitted and let this AVENUE continue to reflect its place in the original GREENVIEW estate.**

Yours faithfully,

GEOFF KYLE and JOY KYLE

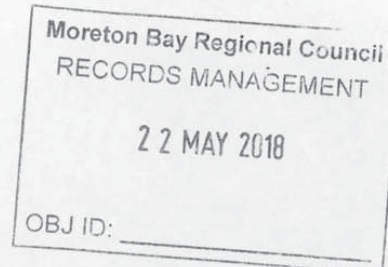
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 362
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

Ian Kuhlmann

Address:

27 Bowen Ave. Albany Creek.

Please hide my details on POnline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?o=pendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 364
Agenda

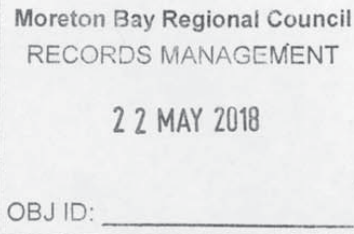
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* - the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* - the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 367
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature A. Kuhlmann

Name: AMANDA KUHLMANN

Address: 27 BOWEN AVENUE ALBANY CREEK

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynO'Callaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 369
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 372
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature 

Name: Nickey Kirkpatrick

Address: Unit 9 154 Goodfellows road Murrumba Downs 4503

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [Internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobble Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

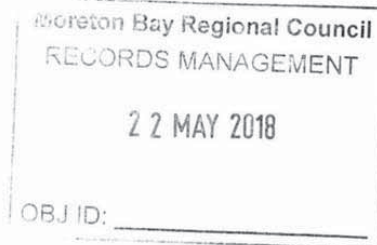
PAGE 374
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date 18th May 2018

The Chief Executive Officer
Moreton Bay Regional Council
P.O Box 159
Caboolture Qld 4510



Dear Sir

Re. Development application for 25-27 Bowen Avenue Albany Creek.
Council Application No 2017/34470/V2M – MCU Multiple Dwelling

We as homeowners in Bowen Avenue, Albany Creek wish to make a formal Submission on the development application in order to register our strong Opposition to the proposed development. The grounds for this objection Are as follows.

1. **Height.**

The height of 4 storey of the proposed exceeds the maximum height of 12 Metres. I believe that the height according to the plans is closer to 12.9 Metres. Measurements given by the developer are approximate and not true plans for the final development. Also the request by the council for electronic model has not been complied with by the developer

Density

We note that the council has a site density for such buildings. This developer argues that these regulations should be relaxed. If we as residence tried to put a building on our land you would advise us of you requirement and not allow us to bend/or stretch the rules as this developer wants too

2. **Parking/Traffic**

On the plans submitted each unit has space for one car only with six additional Parking spaces for visitors. In the modern era most families have two cars. Having said that where do these extra cars park. In the visitors parking area and outside in Bowen Avenue. The entrance to this site is located on a horse shoe bend of Bowen Avenue and vehicles cannot be parked in or near this location for safety reasons. Bowen Avenue is not a wide street and if council allowed parking on both sides of the street lower speed limits must be applied to vehicles using this roadway. Also it is to be noted that we currently have truck and dogs and buses using Bowen Avenue allowing them to do U Turn on Albany Creek Road. **It should also be noted by the Council that vehicles repaired and or fitted with tyres by Beaufrepaire are test driven around Bowen Avenue.** Might I also point out that the Developer has not yet supplied the Council with a traffic Impact Statement on the extra traffic in Bowen Avenue. This will also cause significant traffic problems at both entrances and exits to and from Bowen Avenue. Without this information it is impossible for any

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

person objecting to or the Council to determine the traffic impacts of the proposed development.

3. Environmental Impact

To date the Developer has not supplied to Council with an impact statement regarding the proposed development and with the final day for submissions fast approaching we are unable to put in any objections to this statement if it is forwarded to Council.

4. Sewerage.

We note in one of the replies to the council from the developer that the current owners the the two properties concerned have not experienced any odours coming from the sewerage which is locate 200 meters from the development. To my knowledge the current owners have never lived in these premises because they are both currently rented and have been for some years. The residents living in close proximity of this development if the wind is blowing in the right direction often complain amongst themselves and reported the matter to the council. Many times we have observed the light on top of the sewerage plant flashing especially when there is extremely heavy rain.

With all the new units in Greensill Road already under construction and being connected to the sewerage system strong consideration must be given by the council to the connection of another 24 units. Also consideration must be given to the current system and if it can handle the extra flow without causing any back up or overflow to current residents. I would suggest the council has to consider where any overflow may go to. **Perhaps I might suggest Sandy Creek.**

5. Valuation of Surrounding Properties

If this development in Bowen Avenue is approved it will because of its size and appearance affect the valuation of the surrounding homes. From past experience in Melbourne and having lived in Albany Creek for 25 years these types of development will only bring trouble from people renting such units. As mentioned at our meeting with Mike Charlton yesterday the residence in Leitch's Road constantly have the Police attending the new units at the end of this road for various reasons.

6. Conclusion

The proposed Development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, I would submit that this application by the developer be refused

Appendix A attached

Yours Faithfully

Signature.....

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 376
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Name CHRISTINE MAREE JOHNSON

Please hide my details on PD on line Yes

Address. 43 RYLAND STREET
KEPERRA 4054
BRISBANE QLD

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

5
1
1

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Moreton Bay Regional Council
RECORDS MANAGEMENT

23 MAY 2018

OBJ ID: _____

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

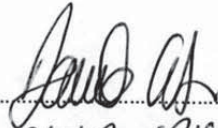
PAGE 380
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

DAVID IRISH

Address:

13 BOWEN AVENUE, ALBANY CREEK

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | **number of motor vehicles** | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

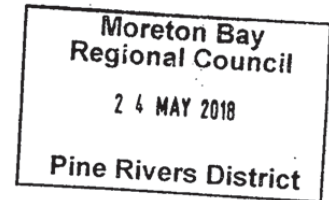
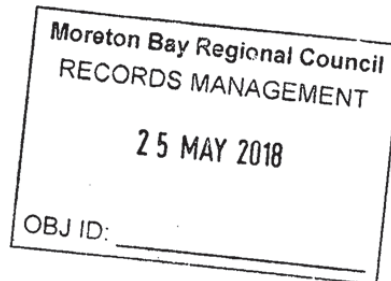
PAGE 382
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 385
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

RODNEY HUMPHREY

Address:

28 CHATEAU & CAASSUITE

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 387
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

3

Date: 15th May 2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature 

Name: Gordon Hoernle

Please hide my details on PDonline. Yes No

Address 39 Bowen Ave
Albany Creek. 4035

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

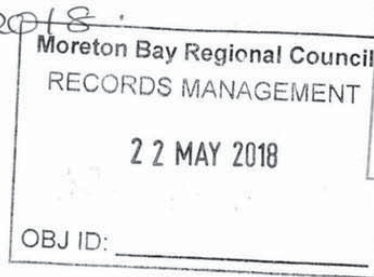
PAGE 390
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: ~~xxx~~ 21st May 2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 392
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature 

Name: ~~Reton Daff~~ ALLISON HOLMES

Address: 39 ~~7~~ Bowen Avenue, Albany Creek

Please hide my details on PDonline. Yes

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Wednesday, 9 May 2018 5:34 PM

For the attention of the General Manager / Planning Manager / Planning Department

Application 2017/34294/V2M
Address 25 Bowen Avenue, Albany Creek QLD 4035
Description Material Change of Use - Development Permit for Multiple Dwelling
(24 Dwellings)
Name of commenter Joanne Hiscock
Address of commenter 6, Jacaranda drive
Email of commenter jo_68@live.com.au

Comment

Is the plan to build all these complexes then decide what infrastructure to put in place?
Will more schools be built?
Better public transport?
What happens to all the animals that call Sandy Creek home, in particular, the Platypus?
Lastly, is there somewhere us the residents and ratepayers can object to these projects, or are they set in stone?

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 394
Agenda

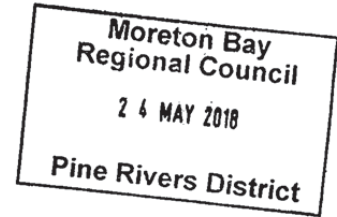
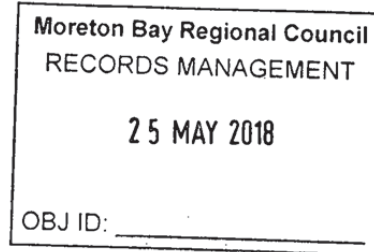
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 397
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature Brett Heaney
Name: BRETT HEANEY
Address: 13 PARRA CRESCENT MORAYFIELD 4506.
Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 399
Agenda

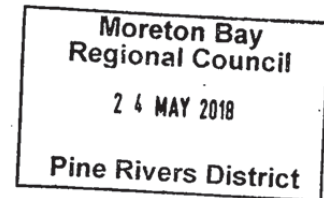
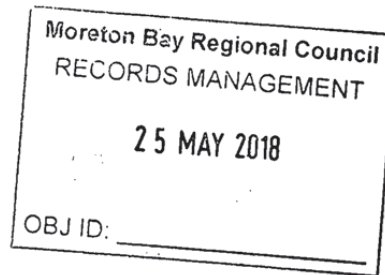
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

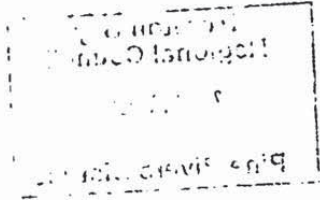
Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 400
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 403
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: SHares
Name: Sharnelle Marks
Address: 32 Drysdale Cir Moreton Bay Downs 4503
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD		Queensland		Australia	
		%		%		%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 405
Agenda

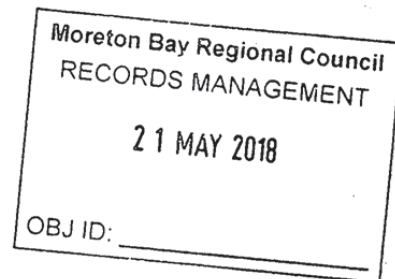
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -.the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 408
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: J Harris

Name: Jaz Harris

Address: Unit 9 154 Goodfellows road Murrumbidgee NSW 4503

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD		Queensland		Australia	
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 410
Agenda

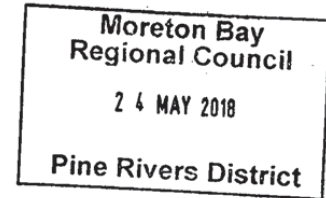
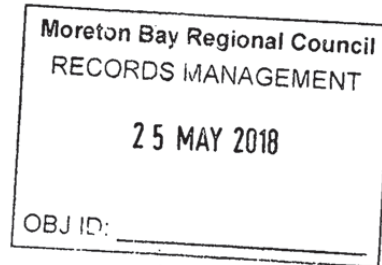
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 413
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

John Griffin

Address:

22 Adams Rd. Coomera Q 4500

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	% ¹
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>


Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#) 

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 415
Agenda

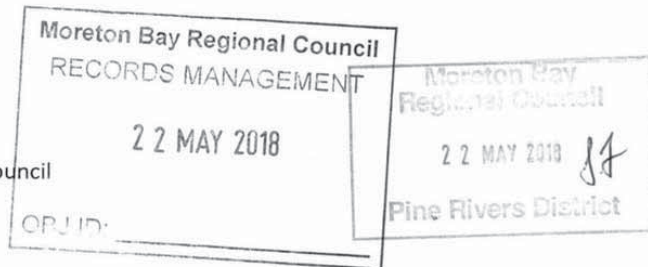
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 418
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: 
Name: GEORGE JOHN GRAHAM
Address: 9 YORK COURT, ALBANY CREEK 4035
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 420
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 423
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature E. L. Graham
Name: EUPHEMIA L GRAHAM
Address: 9 YORK COURT, ALBANY CREEK 4035
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 425
Agenda

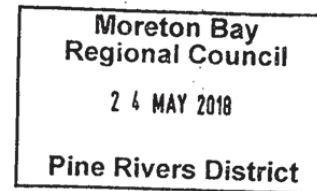
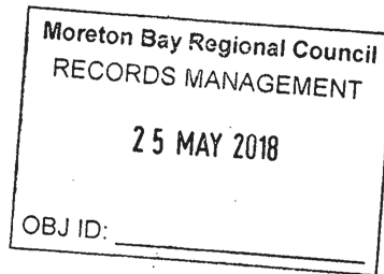
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

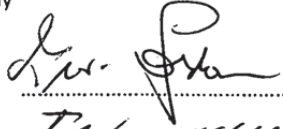
PAGE 428
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

IAN WILLIAM GORDON

Address:

23 CAWARRA ST. CAWSELODIE QLD 4034

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 430
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: xxx

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Moreton Bay Regional Council
RECORDS MANAGEMENT

23 MAY 2018

OBJ ID: _____

Moreton Bay
Regional Council

23 MAY 2018

Pine Rivers District

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street.

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 432
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature 

Name: *Kate Gollan*

Address: *26 Fairhaven Pl Albany Creek*

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBCRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: xxx



The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

RE: **Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBCRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to, medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street.

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully


Signature

Name: Brad Gowland

Address: 26 FARHAY A ALBANY CREEK

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Date: 21/5/18

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature

Name: Kevin Gibson

Address: 4 Jessie crt, Albany Creek

Please hide my details on PDonline. Yes ~~No~~.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Date: 21/5/18

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature

Name: Kate Gibson

Address: 4 jessie crt, Albany Creek

Please hide my details on PDonline. Yes No.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 442
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

5

EXPRESS POST
60436057182093

Date: 16/05/2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street.

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 445
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: Luca Geerssen
Name: Luca Geerssen
Address: 1/21 Bowen Ave Albany Creek 4035
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 447
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

EX PRESS POST
60436057182093

Date: 16/05/2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -.the proposed development will be different in character to the surrounding development because of its height.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: G. Geerssen
Name: Georgia Geerssen
Address: 1/21 Bowen Ave Albany Creek QLD 4035
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035 QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 452
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

5

Date: 16/05/2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 455
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

CRAIG GEERSSEN

Address:

1/21 BOWEN AVE ALBANY CREEK Q 4035

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,925	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,615	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#) 

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 457
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

5

EXPRESS POST
60436057182093

Date: 16/05/2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -.the proposed development will be different in character to the surrounding development because of its height.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 460
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature Tania Geerssen

Name: Tania Geerssen

Address: 1/21 Bowen Ave. Albany Creek 4035.

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 462
Agenda

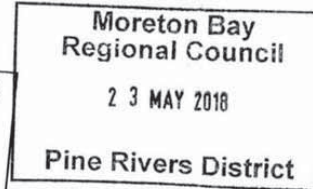
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 465
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature M Flynn

Name: Michael Flynn

Address: 7 York Court Albany Creek

Please hide my details on POnline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 467
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 470
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature *K. Flynn*

Name: *Karen Flynn*

Address: *7 YORK COURT ALBANY CREEK*

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 474
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Yours Faithfully

Signature 

Name: Suzette Ferguson

Address: 10 Bowen Ave, Albany Creek

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	5.0	623,829	7.5
1 motor vehicle	1,926	23.8	586,233	24.2	2,881,485	34.8
2 motor vehicles	3,516	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	55,263	3.4	285,197	3.4

In 4035 QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 476
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 15th May 2018

The Assessment Manager
~~The Chief Executive Officer~~
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

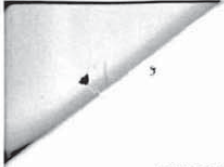
A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District



assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature *[Handwritten Signature]*

Name: SHARON ELMS

Please hide my details on POnline. Yes No

Address 9 Bowen Av
Albany Creek 4035

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 479
Agenda

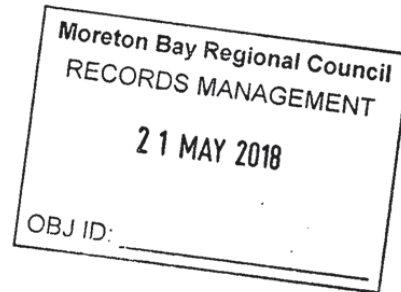
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District



Date: 15th May 2018

The Assessment Manager
~~The Chief Executive Officer~~
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

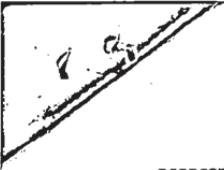
Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 481
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District



assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature 

Name: SCOTT KIMS

Please hide my details on POnline. Yes No.

Address 9 BOWEN AVE
ALBANY Ck 4035

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

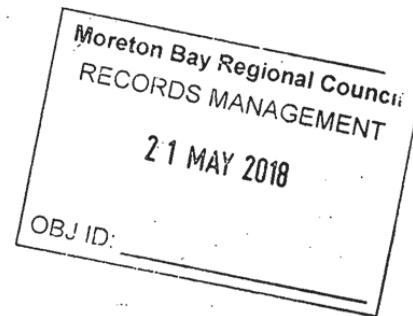
PAGE 482
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JeffreyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 15th May 2018

The Assessment Manager
~~The Chief Executive Officer~~
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 484
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature Neil Elms ~~Neil Elms~~

Name: Neil Elms

Please hide my details on PDonline. Yes No

Address 9 Bowen avenue
Albany Creek 4035

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 485
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 488
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature 

Name: Stacey Edmondson

Address: 9 Glendore Ct ETONS Hill

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 490
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynO'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 493
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

KAREN EDMONDSON

Address:

9 Gwendore Ct, Eatons Hill Q 4037

Please hide my details on POnline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 498
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

Ian Edmondson

Address:

9 GLENDORR CRT, RAIONS HILL

Please hide my details on PDonline.



Yes

No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 500
Agenda

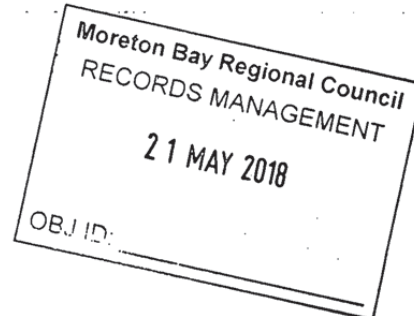
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 503
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature R. J. Dunne + C C Dunne
Name: RAY DUNNE + Cheryl C Dunne
Address: 7 BOWEN AVENUE ALBANY CREEK 4035
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBCRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [Internet connection](#)

Number of registered motor vehicles	4035, Qld	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 505
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District



Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 508
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: 
Name: Cameron Douglas
Address: 25 Bowen Av Alc.

Please hide my details on POnline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobble Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

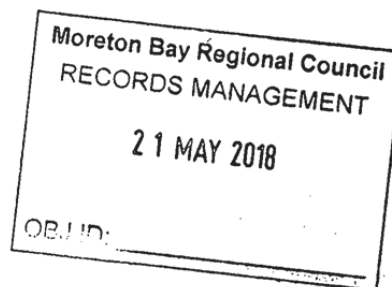
PAGE 510
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 15th May 2018

The Assessment Manager
The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District


assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature 

Name: Mrs S. E. DODD

Please hide my details on PDonline. Yes No.

Address

14, BOWEN AVENUE
ALBANY CREEK
QLD 4035

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 513
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

5

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 516
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

Darrien De Board

Address:

24 Bowen Ave Albany Creek

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 23/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?o=pendocument

Dwellings — number of motor vehicles

dwelling structure | household composition | mortgage & rent | **number of motor vehicles** | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDOM On: 18/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 15th May 2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant’s desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 18/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 18/05/2018 AM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature 

Name: Peter Daff

Address: 37 Bowen Avenue, Albany Creek

Please hide my details on POnline. Yes No

THE PROPOSED DEVELOPMENT ONLY ALLOWS FOR 3 VISITORS CAR PARKS THIS WILL RESULT IN FURTHER ON STREET PARKING. AS BOWEN AVE IS OPPOSITE ALBANY CREEK STATE SCHOOL OUR STREET IS VERY BUSY FROM 8:30AM TO 9:00AM AND 2:30PM AND 3:30PM WITH PARENTS DROPPING OFF AND PICKING UP THEIR CHILDREN AND CARS ARE PARKED ON BOTH SIDES OF THE STREET.

WITH NO VEGETATION MANAGEMENT PLAN, FAUNA MANAGEMENT PLAN, REHABILITATION PLAN AND DRAINAGE MASTER PLAN HOW DO WE KNOW THE ENVIRONMENTAL IMPACT ON THE PROPOSED DEVELOPMENT?

THE MAXIMUM BUILDING HEIGHT IS 12 METRES BUT SUBMITTED PLANS SHOW A HEIGHT OF 12.9 METRES APPROXIMATELY. WHAT WILL THE ACTUAL HEIGHT REALLY BE?

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 521
Agenda

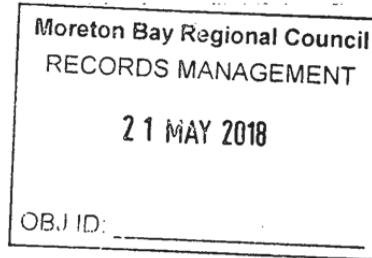
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -.the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 524
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

KATRINA DAEF

Address:

20 MONTAIGNE ST, NORTH LAKES QLD

Please hide my details on PDonline. Yes No.

4509

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobble Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 526
Agenda

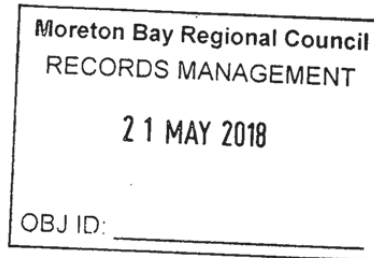
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council


COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 529
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: 
Name: JEANETTE DAFF
Address: 37 BOWEN AVE ALBANY CREEK QLD 4035
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 531
Agenda

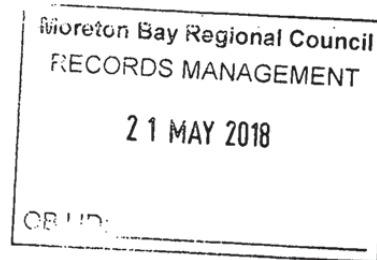
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -.the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online.site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council


COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 534
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferýTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature 

Name: ADAM DAFF

Address: 20 MORFONTAINE ST, NORTH LAKE QLD
4509

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobble Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 536
Agenda

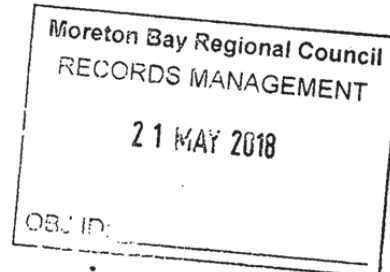
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District Office

Date: 15th May 2018

Assessment Manager

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 538
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature 

Name: Paul Crooks

Please hide my details on PDonline. Yes No

Address 93 Leitchs Rd sth
Albany Creek Qld 4035

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

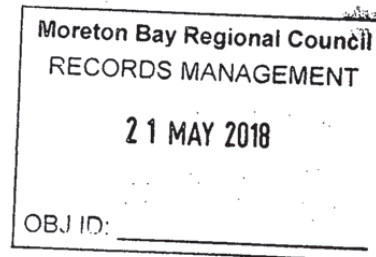
PAGE 539
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 15th May 2018

Assessment Manager
The ~~Chief Executive Officer~~
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development.

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 541
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature 

Name: Kerri Crooks

Please hide my details on PDonline. Yes No

Address 93 Leitchs Rd Sth.
Albany Creek. Qld 4035

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 545
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: Peta Crawford
Name: Peta Crawford
Address: PO Box 6647 Mitchelton QLD 4053

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 547
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 550
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature Ka Byrne

Name: Kay Byrne

Address: 2 York Court Albany Creek 4035

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:MarilynOCallaghan@MBRCDDOM On: 22/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 552
Agenda

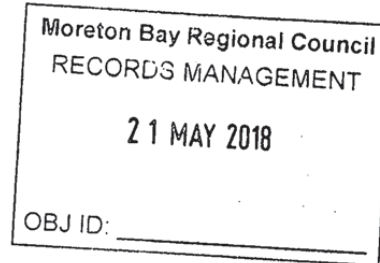
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct -the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 555
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

STEVE BOURKE

Address:

28 OSCAR CRESCENT, ALBANY CREEK

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 21/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 560
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: MarilynOCallaghan@MBRCDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature: [Handwritten Signature]
Name: N. BURKE
Address: 25 OSCAR CR, ALBANY CREEK

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Marilyn O'Callaghan@MBRCDDOM On: 22/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#) 

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Date: 22 May 2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. The applicant has not provided a traffic impact

Moreton Bay Regional Council

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused.

Yours Faithfully

Signature

Name: Tim Bensted

Address: 8 Lambeth Crt, Albany Creek

Please hide my details on PDonline. Yes No.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 565
Agenda

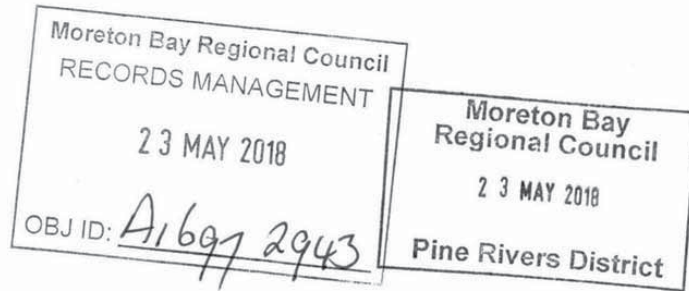
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:stephaniekleinhans@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:stephaniekleinhans@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:stephaniekleinhans@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 568
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:stephaniekleinhans@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature

Kevin Ball

Name:

KEVIN BALL

Address:

5 THOMPSON RD, DAKARIN

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:stephaniekleinhans@MBRCDOM On: 24/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

dwelling structure | household composition | mortgage & rent | **number of motor vehicles** | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 570
Agenda

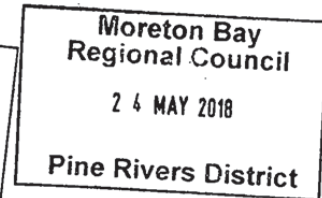
ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 573
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

PAUL BAGGETT

Address:

28 GIBBONS ROAD, SAMFORS VALLEY.

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 575
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDQM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 578
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature



Name:

ELAINE BALL

Address:

5 THOMPSON ROAD DARABU

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: normabycroft@MBRCDOM On: 24/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

#8 Not Properly Made Submissions

Tue 29/05/2018 7:56 PM

To whom it may concern

My name is Nicole McKeering and I reside at 115 Speight Street Brighton 4017.

I wish to object to a development application that has been made to build a 24 dwellings at 25 & 27 Bowen Avenue Albany Creek on lots 56RP93874 & 57 SP155119.

The grounds for my objection are that my father resides at 29 Bowen Avenue and has done so for nearly 30 years. I also grew up at 29 Bowen Avenue. It is a peaceful street surrounded by nature and inhabits many of our sacred and prioritised wildlife. I played in the Sandy creek waterway growing up and have been pleased to read that our endangered platypus has been sighted in this creek as reported to the Moreton Bay Regional Council. Development on these lots would have a detrimental effect on the surrounding wildlife. As stated in your priority species of MBRC information package the platypus is listed at number 28. Great lengths should be taken to maintain the surrounding area with appropriate vegetation protection as outlined in your information regarding the conservation efforts and requirements for the platypus. Developing these lots will be contradictory to your own conservation and protection advice.

I also object to the development as it is an unsafe section of the street to be increasing traffic congestion and hazards. It is on the bend of the street making visibility poor, especially when exiting my dads property. It is already difficult to see what is coming around that corner and having so many extra vehicles entering and exiting from that corner will be extremely dangerous. it is also already a high traffic area due to the Primary School located at the end of the street, this development would significantly add to the stress and inconvenience for local residents.

I greatly appreciate your consideration.

Thank you for your time.

Nicole McKeering

Tue 21/08/2018 11:56 AM

For the attention of the General Manager / Planning Manager / Planning Department

Application	2017/34294/V2M
Address	25 Bowen Avenue, Albany Creek QLD 4035
Description	Material Change of Use - Development Permit for Multiple Dwelling (24 Dwellings)
Name of commenter	Sally Fisher
Address of commenter	25 Bowen Ave, Albany Creek
Email of commenter	sallyfish99@hotmail.com

Comment

I actually live in one of the houses that is going to be demolished for this to be built and I can tell you from first-hand experience that there is tons of wildlife that call my backyard and the surrounding

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

bush home. In particular, a family of 5 Kookaburras, scrub turkeys, possums and many many native geckos and lizards. There is also the Sandy Creek that runs behind the properties here and I worry for how the construction of these 'dwellings' will affect the natural course of the river and the life that call it home. Not only am I going to lose the house I am renting here, I'm going to lose all these animals that my family and I enjoy watching and the atmosphere that we enjoy most about living here in Albany Creek, the noise of the rustling trees and our morning kookaburra calls. The street we live on is a small and quiet place and a block of 24 Units would honestly look extremely out of place here.

In my opinion, if you wanted to expand and urbanise Albany creek this street isn't the place. I hope you look to other areas of urbanisation (better public transport) rather than spotting in more houses on top of the place myself and others call home. I'm sure the rest of the community would like to improve on whats already here before trying to expand our population.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 582
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Julie Want
Unit22/4 Brett Street
LAWNTON 4501 QLD
Date: 21/05/2018



The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- results in privacy and residential amenity consistent with the low to medium density residential character intended for the area - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- orientate to integrate with the street and surrounding neighbourhood – the proposed development will be out of place in the street;
- be of a scale and density consistent with the low to medium density residential character intended for the area – the proposed development will be twice the height of the other residences in the street.

1 of 5

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Yours Faithfully

3 of 5

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 585
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Signature: J. Stewart
Name: JUNE WANT
Address: 2214 Brett St, LAWNTON, 4501.
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?o=pendocument

Dwellings — number of motor vehicles						
dwelling structure household composition mortgage & rent number of motor vehicles internet connection						
	4035, QLD		Queensland		Australia	
	Number	%	Number	%	Number	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,105	19.0	1,456,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 587
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Benjamin Lane

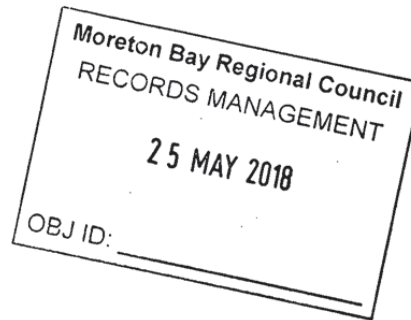
41 Bowen Av

ALBANY CREEK

QLD 4035

Date: 21/05/2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- results in privacy and residential amenity consistent with the low to medium density residential character intended for the area - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- orientate to integrate with the street and surrounding neighbourhood – the proposed development will be out of place in the street;

1 of 5

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- be of a scale and density consistent with the low to medium density residential character intended for the area – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 590
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature *B. Lane*
Name: Benjamin Lane
Address: 41 Bowen Ave, Albany Creek.

Please hide my details on POnline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

	4035, QLD	%	Queensland	%	Australia	%
Number of registered motor vehicles						
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

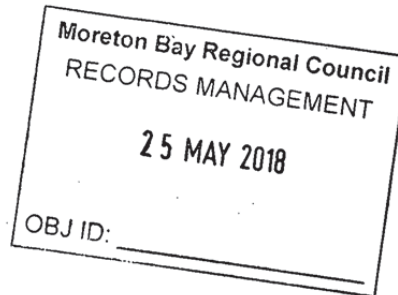
COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 592
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Clayton Lane
41 Bowen Av
ALBANY CREEK
QLD 4035
Date: 18/05/2018



The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 594
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 596
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature C. Lane
Name: Clayton W. J. Lane
Address: 41 Bowen Ave Albany creek
Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,989,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 598
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Laura Lane

41 Bowen Av.

ALBANY CREEK

QLD 4035

Date: 21/05/2018

The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510



Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- results in privacy and residential amenity consistent with the low to medium density residential character intended for the area - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- orientate to integrate with the street and surrounding neighbourhood – the proposed development will be out of place in the street;

1 of 5

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- be of a scale and density consistent with the low to medium density residential character intended for the area – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 601
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature *Laura Lane*
Name: Laura Lane
Address: 41 Bowen Avenue, Albany Creek.
Please hide my details on POnline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

	4035, QLD		Queensland		Australia	
Number of registered motor vehicles						
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,486,302	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 603
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Courtney Bredhauer

41 Bowen Av

ALBANY CREEK

QLD 4035

Date: 21/05/2018



The Chief Executive Officer
Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- results in privacy and residential amenity consistent with the low to medium density residential character intended for the area - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- orientate to integrate with the street and surrounding neighbourhood – the proposed development will be out of place in the street;

1 of 5

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

- be of a scale and density consistent with the low to medium density residential character intended for the area – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 606
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:JefferyTruscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature C.R. Bradshaw
Name: Courtney Bradshaw
Address: 41 Bowen Ave Albany Creek

Please hide my details on PDonline. Yes No

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: Jeffery Truscott@MBRCDDOM On: 25/05/2018 PM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles						
dwelling structure household composition mortgage & rent number of motor vehicles internet connection						
Number of registered motor vehicles	4035, QLD		Queensland		Australia	
		%		%		%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 608
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzkm@MBRCDDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Moreton Bay Regional Council
RECORDS MANAGEMENT
28 MAY 2018
OBJ ID: _____

Moreton Bay
Regional Council
28 MAY 2018
Pine Rivers District

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 611
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS
(21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours Faithfully

Signature 

Name: OLIVER THOMAS ELSWORTH

Address: 8 YORK CRT ALBANY CREEK 4035

Please hide my details on PDonline. Yes No.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 613
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Moreton Bay Regional Council
RECORDS MANAGEMENT

28 MAY 2018

OBJ ID: _____

Moreton Bay
Regional Council

28 MAY 2018

Pine Rivers District

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - CaBoolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- *does not result in a site density that is inconsistent with the character of the area* – proposal will result in site density greater than 75 dwellings per hectare;
- *does not result in an over development of the site* – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- *does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);*
- *reflects the low to medium density character intended for the area* - the proposed development will be twice the height of the other residences in the street..

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles

dwelling structure | household composition | mortgage & rent | number of motor vehicles | internet connection

Number of registered motor vehicles	4035, QLD		Queensland		Australia	
		%		%		%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.

[View the data quality statement for Number of registered motor vehicles \(VEHD\)](#)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 618
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By: schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Date: 16/05/2018:

The assessment officer

Moreton Bay Regional Council
PO Box 159
Caboolture Qld 4510

Moreton Bay Regional Council
RECORDS MANAGEMENT

28 MAY 2018

OBJ ID: _____

Moreton Bay
Regional Council

28 MAY 2018

Pine Rivers District

Dear Sir,

**RE: Development application for 25-27 Bowen Avenue, Albany Creek,
Council Application Number 2017/34470/V2M – MCU Multiple Dwelling**

I wish to make a formal submission on the above development application in order to register my strong opposition to the proposed development. The grounds for this objection are as follows.

1. Overdevelopment of the site

Site density

The proposal represents overdevelopment of the site that is contrary to the purpose of the Next Generation Neighbourhood Precinct Zone Code because site density is greater than 75 dwellings per hectare maximum identified for the precinct. This overdevelopment of the site then requires relaxation of other performance outcomes such as site cover and building height to achieve the applicant's desired form of development.

The applicant argues that relaxation of site density is justified based on a number of grounds. However, these grounds are the planning rationale for allowing an increase in density for the precinct to 75 dwellings per hectare, so should not be used to justify further increases in density.

Building height

The height of the proposed development exceeds the identified 12 metre maximum identified in the building height overlay for the site. Lack of a proper electronic model of the building makes it difficult to verify the actual building height.

The introduction of a four storey building into a street where all other buildings are one or two storeys in height is inconsistent with a number of the overall outcomes for the design, construction and siting of residential uses in the Next Generation Neighbourhood Precinct such as:

- *results in privacy and residential amenity consistent with the low to medium density residential character intended for the area* - the proposed development of four storeys will impact on the privacy of the adjoining dwellings
- *orientate to integrate with the street and surrounding neighbourhood* – the proposed development will be out of place in the street;
- *be of a scale and density consistent with the low to medium density residential character intended for the area* – the proposed development will be twice the height of the other residences in the street.

Furthermore the proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to building height including:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

- is consistent with the low to medium rise character of the Next Generation Neighbourhood precinct - the proposed development will be different in character to the surrounding development because of its height.
- is not visually dominant or overbearing with respect to the streetscape - the proposed development will be twice the height of the other residences in the street.

Site cover

The proposal is inconsistent with the performance outcomes for assessable development in the Next Generation Neighbourhood Precinct relating to site cover including:

- does not result in a site density that is inconsistent with the character of the area – proposal will result in site density greater than 75 dwellings per hectare;
- does not result in an over development of the site – as identified performance outcomes for site density, site cover and building height are exceeded by the proposed development it will result in over development of the site;
- does not result in other elements of the site being compromised (e.g. Setbacks, open space etc);
- reflects the low to medium density character intended for the area - the proposed development will be twice the height of the other residences in the street.

The proposed development exceeds the Acceptable Outcome of 40% nominated as the Performance Outcome for a large site in the precinct.

2. Environmental Impacts of the proposed development

The site for the proposed development is affected by overlays for Matters of State Environmental Significance, Environmental Offset Receiving Areas, Flood Hazard, and Riparian and Wetland Setbacks. The site is also mapped as being situated within the Priority Koala Assessable Development Area.

Sandy creek has had 2 platypus sightings according to council's website and has Koalas. The proposed development the waterways which will impact the platypus habitat.

The applicant's Planning Report does not address the environmental impacts of the proposed development but states that a Vegetation Management Plan, Fauna Management Plan, Rehabilitation Plan and Drainage Master Plan are being prepared and will be forwarded to Council upon completion. These plans are not provided on Council's pd.online site and presumably they have not been provided to Council. Therefore, it is impossible for the submitter, or Council, to ascertain what the environmental impacts of the proposed development will be on what is an environmentally sensitive site and surrounding area.

3. Traffic Impacts of the proposed development

The proposed development comprises 24 units, and 30 car spaces will be provided. The number of car spaces provided is reduced from normal requirements because the site is within 400 metres walking distance of a centre. There is no basis in this standard to differentiate between the cars likely to be owned by residents of one bedroom apartments and those living in three bedroom apartments. Even in Brisbane's inner suburbs which have high quality access to public transport, car parking for multiple dwellings is a problem.

According to the 2016 census, over 70% of households in Albany Creek had 2 or more vehicles per

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzkb@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Dwelling. A more likely scenario for car parking is – 2 x 1 bed x 1 space = 2; 12 x 2 bed x 1.5 spaces = 18; 10 x 3 bed x 2 = 20; a total of 40 cars being owned by the residents. This does not allow for car spaces for maintenance, visitors or a dedicated emergency services bay. This means 10 residents cars are likely to be parked on street, which will seriously affect the amenity of surrounding residents.

The proposed development will significantly increase the amount of traffic using Bowen Avenue, which currently only has a small catchment. It will also make access for council vehicles, such as garbage trucks and street sweepers, almost impossible to navigate. The applicant has not provided a traffic impact assessment of the proposal, particularly the impacts on the Bowen Avenue – Albany Creek Road intersection. Without this information it is impossible for the submitter, or Council, to determine the traffic impacts of the proposed development.

Further, the proposal plans do not show dimensions for car spaces. Some spaces appear to be inadequate for vehicle parking – raising the potential for further on-street parking being required.

4. Current Waterway management

The Sandy Creek waterway, adjacent to Bowen Avenue, is currently suffering soil erosion and is full of debris and rubbish. The proposed development is unable to be interpreted as there is no rear back fence shown on the existing plans. There is also no physical fence at the rear of the property development sites, making it impossible for the submitter to gauge how far the floodway /natural way overlaps the proposal. There are adequate grounds for concern that the proposed development will impact into the waterway and have a significant impact on property's upstream already experiencing flooding every wet season.

There has been no flood impact study, or similar document, to address the following:

- impact on property's from Albany Creek Road to the proposed development site.
- north west drain that meets with Sandy Creek at the back of the development site.
- Impact on the existing property's on the other side of the drain.

There has been a change in waterflow as All Saints Primary School and Albany Creek State School have had work done to prevent the volume of overland flow from Sandy Creek. This is bound to have an impact on the hydraulics and velocity of the water impacting the development site and properties surrounding it.

5. Conclusion

The proposed development that is the subject of this application does not comply with aspects of the Moreton Bay Regional Council Planning Scheme 2015. Accordingly, as the proposed development does not comply with the planning scheme it should be refused. Throughout this proposal, especially in the site elevation plans there are a lot of "Approximates" the submitter is unable to make an informed decision without accurate information, we have no way of knowing how high the land currently sits and the height post development.

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 621
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Yours faithfully,

Signature 

Name ALEXANDER CARLYLE GRAHAM

Address 8 LAUREL COURT CASHMERE 4500

Please hide my details on POnline. Yes No

Page 4 of 5

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Scanned By:schulzk@MBRCDOM On: 29/05/2018 AM Moreton Bay Regional Council - Caboolture District

Reference Material

Extract from 2016 Census Information regarding Motor Vehicles in Albany Creek:

http://www.censusdata.abs.gov.au/census_services/getproduct/census/2016/quickstat/POA4035?opendocument

Dwellings — number of motor vehicles
[dwelling structure](#) | [household composition](#) | [mortgage & rent](#) | [number of motor vehicles](#) | [internet connection](#)

Number of registered motor vehicles	4035, QLD	%	Queensland	%	Australia	%
None	227	2.8	99,133	6.0	623,829	7.5
1 motor vehicle	1,926	23.8	566,233	34.2	2,881,485	34.8
2 motor vehicles	3,616	44.7	620,096	37.4	2,999,184	36.2
3 or more vehicles	2,172	26.8	315,106	19.0	1,496,382	18.1
Number of motor vehicles not stated	149	1.8	56,263	3.4	285,197	3.4

In 4035, QLD (Postal Areas), 23.8% of occupied private dwellings had one registered motor vehicle garaged or parked at their address, 44.7% had two registered motor vehicles and 26.8% had three or more registered motor vehicles.
 View the data quality statement for Number of registered motor vehicles (VEHD)

Extract from Moreton Bay Council Website 16/05/2018

<https://www.moretonbay.qld.gov.au/native-animals/sightings/>

Platypus

Wildlife Queensland, with help from Council, compiled a database of 47 platypus sightings from waterways within the Pine Rivers district. Of these, 37 sighting records had enough information to plot them accurately.

The sightings were from 13 waterways including the North Pine River (13 records), the South Pine River (8), Cedar Creek (3), Freshwater Creek (2), Kobbie Creek (2), Sandy Creek (2), Albany Creek (1), Wongan Creek (1), Branch Creek (1), Bergin Creek (1), Terrors Creek (1), Cabbage Tree Creek (1) and Todd's Gully (1).

The sightings date back to the 1920s, but the majority of these records were from the 1990s (13) and 2000s (12).

Report a platypus sighting:

- Submit your sighting online to the [Moreton Bay Animal Atlas](#), and
- Complete the Wildlife Preservation Society of Queensland's online form [platypus watch sighting form](#)

Moreton Bay Regional Council

COORDINATION COMMITTEE MEETING
27 November 2018

PAGE 623
Agenda

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

#9 Infrastructure Charges Notice

Infrastructure Charges Notice



Original Notice (s640 SPA)

ABN 92 967 232 136

Moreton Bay Regional Council
Caboolture Office, 2 Hasking Street, Caboolture Qld 4510
PO Box 159, CABOOLTURE QLD 4510

Approval No:	DA/34470/2017/V2M	Applicant:	Mr Michael Sorensen
Approval Description:	Material Change of Use-Development Permit for Multiple Dwelling (18 Dwellings)	Stage:	0
Based On:	2018/19 financial year	Applicant Address:	Mr Michael Sorensen C/- Planning Insights Pty Ltd PO Box 1312 MILTON QLD 4064
Version of Charges Resolution:	Ver 8 - 14 August 2018	Owner:	Mr Zsolt K Kiss and Mrs Jasmine E Kiss
Proportional Split (MBRC/UW):	2018/19 financial year Adopted 60/40	Owner Address:	Mr Zsolt K Kiss and Mrs Jasmine E Kiss PO Box 201 ALBANY CREEK QLD 4035
Total Levied Charges:	\$255,770.88	Date Charges Payable:	In accordance with the Sustainable Planning Act 2009
<p>The Total Levied Charge is calculated as the Total Charge less any Offset available as identified below in an Infrastructure Agreement or a condition of the development approval. Where the Offset exceeds the Total Charge and a refund is available, the Total Levied Charge is zero and any refund is addressed in the Refund section of this Infrastructure Charges Notice.</p>			

Property Details

Property Address	Real Property Description
27 Bowen Avenue, ALBANY CREEK QLD 4035	Lot 56 RP 93874
25 Bowen Avenue, ALBANY CREEK QLD 4035	Lot 57 SP 155119

Charge Details

Description	Existing Demand (Credit)	Proposed Demand	Unit of Demand	Demand Factor	Charge Rate per Unit of Demand	Total Charge
RESIDENTIAL						
Residential use as 1 or 2 Bedroom dwelling						
Multiple Dwellings (2 or less bedrooms)	0.0000	4.0000	Dwelling	1.0000	\$12,296.67	\$49,186.68
Residential use as 3 or more Bedroom dwelling						
Multiple Dwellings (3 or more bedrooms)	2.0000	14.0000	Dwelling	1.0000	\$17,215.35	\$206,584.20
SUB TOTAL						\$255,770.88
TOTAL GST						\$0.00
GRAND TOTAL						\$255,770.88

Infrastructure Agreement Offset Details

IA Number (Council Ref)	
Description	

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Infrastructure Charges Notice



Original Notice (s640 SPA)

ABN 92 967 232 136

Moreton Bay Regional Council
Caboolture Office, 2 Hasking Street, Caboolture Qld 4510
PO Box 159, CABOOLTURE QLD 4510

Agreement Date	
----------------	--

Infrastructure ID Number	Infrastructure Item Description	Delivery Status ¹	Original Agreed Value of Item ²	Previous Value of Item Used ³	New Value of Item Used ⁴	Value of Item left Available ⁵

Notes

- Where an Infrastructure Item has not been delivered, the value of the Infrastructure Item as an offset has been deducted from the charge on an expectation that the Infrastructure Item will be delivered concurrently with, or before, payment of the Levied Charge is due as payable to Council. AVAILABLE means the item has been delivered at the date of issue of this Infrastructure Charges Notice whereas FUTURE means the item has not yet been delivered at the date of issue of this Infrastructure Charges Notice.
- Represents the amount of the Original Agreed Value of the Infrastructure Item.
- Represents the amount of the Original Agreed Value of the Infrastructure Item used in another Infrastructure Charges Notice (e.g. an earlier stage of the development).
- Represents the amount of the Original Agreed Value of the Infrastructure Item used in this Infrastructure Charges Notice to determine the Total Levied Charge.
- Represents the amount of the Original Agreed Value of the Infrastructure Item remaining after the issuing of this Infrastructure Charges Notice.

In respect to the Notes above, where provided for in an Infrastructure Agreement or the Council's Infrastructure Charges Resolution, the value of the infrastructure has been indexed to the date of issue of this Infrastructure Charges Notice.

Development Condition Offset Details

Condition and DA Number	Infrastructure Item Description	Delivery Status ¹	Original Agreed Value of Item ²	Previous Value of Item Used ³	New Value of Item Used ⁴	Value of Item left Available ⁵

Notes - refer to Notes above

Refund Details

In accordance with s637(1)(f) of the Sustainable Planning Act 2009, any refund applicable is listed below and will be refunded in accordance with the terms listed in an infrastructure agreement, or if there is no infrastructure agreement, in accordance with the Council's Infrastructure Charges Resolution Implementation Policy in effect at the date when the refund is payable and the Infrastructure Item has been Delivered⁶ to Council.

Infrastructure Item	Condition Number	Value of the Infrastructure Item Used as Offset in this ICN	Value of Offset available for Refund or transfer to other development ⁷

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Infrastructure Charges Notice

Original Notice (s640 SPA)



ABN 92 967 232 136

Moreton Bay Regional Council
Caboolture Office, 2 Hasking Street, Caboolture Qld 4510
PO Box 159, CABOOLTURE QLD 4510

Notes

6. Delivered is taken to be (a) for land, the date when the land is transferred to Council in fee simple or dedicated as a reserve (e.g. road reserve), and/or (b) for works, the date when the works are accepted by Council in writing and in full as being 'On Maintenance', unless agreed to otherwise by Council in writing.
7. Where an Infrastructure Item has not been Delivered, the value of any refund is not available until the Infrastructure Item has been delivered to Council and has been confirmed by the Council as exceeding any Offset available and is in accordance with the Council's Infrastructure Charges Resolution Implementation Policy.

INFORMATION NOTICE

THE DECISION AND REASONS FOR IT:

The decision to issue this Infrastructure Charges Notice is to support the objectives of the Sustainable Planning (Infrastructure Charges) and Other Legislation Amendment Act 2014 that provides for the establishment of a long-term local infrastructure planning and charging framework in Queensland that supports local government's sustainability and development feasibility.

The Notice has been compiled in accordance with the statutory requirements of the:

- Moreton Bay Regional Council Infrastructure Charges Resolution (as amended)
- State Planning Regulatory Provision (adopted charges) July 2012 (as amended)
- Sustainable Planning Act 2009
- Sustainable Planning (Infrastructure Charges) Amendment Act 2014.

SUBMISSIONS REGARDING THIS NOTICE

The recipient of an Infrastructure Charges Notice may make a submission about the Notice within the relevant appeal period (20 days from receipt of the Notice) in accordance with Chapter 8 Part 2 Subdivision 5 of the Sustainable Planning Act 2009.

APPEALS ABOUT AN INFRASTRUCTURE CHARGES NOTICE

The recipient of an Infrastructure Charges Notice may appeal to the court about the decision to give the notice in accordance with Chapter 7 Part 1 Division 10 s 478 of the Sustainable Planning Act 2009.

TO WHOM THE CHARGE MUST BE PAID

Payment of the Charge must be made payable to MORETON BAY REGIONAL COUNCIL via Customer Service or Development Services, PO Box 159, Caboolture Qld 4510

The Infrastructure Charge has been calculated in accordance with the charges stated in Council's Infrastructure Charges Resolution. This notice will be escalated to time of payment to the extent permitted under legislation in force at that time.

PAYMENT DUE BY:

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)

Infrastructure Charges Notice

Original Notice (s640 SPA)



ABN 92 967 232 136

Moreton Bay Regional Council
Caboolture Office, 2 Hasking Street, Caboolture Qld 4510
PO Box 159, CABOOLTURE QLD 4510

In accordance with the Sustainable Planning Act 2009 - extract as follows:

A levied charge is payable -

- (a) if the charge applies to reconfiguring a lot that is assessable development or development requirement compliance assessment - before the local government approves the plan of subdivision for the reconfiguration;
or
- (b) if the charge applies to building work - before the certificate of classification or final inspection certificate for the building work is given;
or
- (c) if the charge applies to a material change of use - before the change happens;
or
- (d) otherwise - on the day stated in the infrastructure charges notice, negotiated infrastructure charges notice or amended infrastructure charges notice.

Notice is hereby given that the abovementioned infrastructure charges levied by Moreton Bay Regional Council in compliance with the Sustainable Planning Act 2009, Chapters 8 and 9 on land described for the period described, and such charges are DUE AND PAYABLE BY THE TIME STIPULATED IN THIS NOTICE. These charges plus any arrears and interest thereon may be recovered by legal process without further notice if unpaid after the time stipulated in this notice.

Infrastructure Charges Notice IMPORTANT INFORMATION

PAYMENT

This notice is due and payable by the due time shown. Cheques, money orders or postal notes should be made payable to MORETON BAY REGIONAL COUNCIL and crossed "Not Negotiable". Change cannot be given on cheque payments. Property owners will be liable for any dishonour fees.

OVERSEAS PAYEES

Please forward your infrastructure charges payment by way of a bank draft for the required amount in Australian dollars.

GOODS AND SERVICES TAX

GST is not applicable to the Infrastructure Charges contained in this Notice.

INFRASTRUCTURE CHARGE IS SUBJECT TO PRICE VARIATION

The Levied Charge in this notice will be escalated to time of payment to the extent permitted under legislation and the Council's Infrastructure Charges Resolution in force at that time.

Where indexation is applicable, an online spreadsheet calculator is available to assist with making the calculation <https://www.moretonbay.qld.gov.au/general.aspx?id=155295>

Council takes no responsibility for the accuracy of the calculator.

PLEASE CONTACT DEVELOPMENT SERVICES BEFORE MAKING PAYMENT.

INFRASTRUCTURE CHARGE ENQUIRIES

ITEM 2.1 - DA/34470/2017/V2M: MATERIAL CHANGE OF USE - DEVELOPMENT PERMIT FOR MULTIPLE DWELLINGS (21 DWELLINGS), 25-27 BOWEN AVENUE, ALBANY CREEK - DIVISION 9 (Cont.)



ABN 92 967 232 136

Infrastructure Charges Notice

Original Notice (s640 SPA)

Moreton Bay Regional Council
Caboolture Office, 2 Hasking Street, Caboolture Qld 4510
PO Box 159, CABOOLTURE QLD 4510

Enquiries regarding this infrastructure charge notice should be directed to MORETON BAY REGIONAL COUNCIL, Development Services, Caboolture Office, during office hours, Monday to Friday on phone (07) 3205 0555.

METHODS OF PAYMENT

PAYMENT BY MAIL

Confirm the current Infrastructure Charge applicable and obtain an updated payment notice from Council's Development Services.

Mail this updated payment notice immediately with your payment to: MORETON BAY REGIONAL COUNCIL, PO Box 159, Caboolture Qld 4510

NOTE: Cheques must be made payable to MORETON BAY REGIONAL COUNCIL

PAYMENT AT COUNCIL OFFICES

Confirm the current Infrastructure Charge applicable and obtain an updated payment notice from Council's Website.

Present this updated payment notice with your payment to Moreton Bay Regional Council at the Customer Service Counters.

NOTE: Cheques must be made payable to MORETON BAY REGIONAL COUNCIL

PAYMENT MADE BY CREDIT CARD

Credit Cards accepted: Mastercard or Visa

SUPPORTING INFORMATION

Ref: A17757278

The following list of supporting information is provided for:

ITEM 4.1

MBRC - BUS STOP - DDA COMPLIANCE IMPROVEMENTS PROGRAM - DIVISION 1

Confidential #1 Tender Evaluation

SUPPORTING INFORMATION

Ref: A17796380

The following list of supporting information is provided for:

ITEM 4.2

**BRENDALE - SOUTH PINE SPORTING COMPLEX - CRICKET OVAL RENEWAL AND EXTENSION-
DIVISION 9**

Confidential #1 Tender Evaluation

SUPPORTING INFORMATION

Ref: A17518462

The following list of supporting information is provided for:

ITEM 4.3

MORAYFIELD - OAKEY FLAT ROAD - ROAD AND INTERSECTION UPGRADE 1 - DIVISIONS 3 AND 12

Confidential #1 Tender Evaluation

SUPPORTING INFORMATION

Ref: A17789131

The following list of supporting information is provided for:

ITEM 4.4

**EVERTON HILLS - SOUTH PINE ROAD/CAMELIA AVENUE/PIMELEA STREET - ROAD
REHABILITATION AND TRAFFIC SIGNAL UPGRADE - DIVISION 10**

Confidential #1 Tender Evaluation

SUPPORTING INFORMATION

Ref: A17792833

The following list of supporting information is provided for:

ITEM 4.5

STRATHPINE - PINE RIVERS PARK - RIVERBANK STABILISATION - DIVISION 9

Confidential #1 Tender Evaluation

SUPPORTING INFORMATION

Ref: [A17859569](#)

The following list of supporting information is provided for:

ITEM 5.2

NEW LEASE - CABOOLTURE BOXING CLUB INC - DIVISION 3

#1 Caboolture Boxing Club Inc - Rugby League club house building and proposed new lease area

ITEM 5.2 - NEW LEASE - CABOOLTURE BOXING CLUB INC (Cont.)

#1 Caboolture Boxing Club Inc - Rugby league club house building and proposed new lease area



SUPPORTING INFORMATION

Ref: [A17862923](#)

The following list of supporting information is provided for:

ITEM 5.3

NEW LEASE - CABOOLTURE JUNIOR RUGBY LEAGUE INCORPORATED - DIVISION 3

#1 Caboolture Junior Rugby League Incorporated - proposed lease area

ITEM 5.3 - NEW LEASE - CABOOLTURE JUNIOR RUGBY LEAGUE INCORPORATED (Cont.)

#1 Caboolture Junior Rugby League Incorporated - proposed lease area



SUPPORTING INFORMATION

Ref: A17849934

The following list of supporting information is provided for:

ITEM 6.1

TENDER - CABOOLTURE REGIONAL AQUATIC LEISURE CENTRE MANAGEMENT - DIVISION 2

Confidential #1 Tender Evaluation